

BOTERO HOMES GALLERY

JEFFERSONION COLONIAL

BUILDING CODE DATA

PROJECT LOCATION: FAIRFAX COUNTY VIRGINIA		USE GROUP: R-4 RESIDENTIAL	
CODE OF JURISDICTION: 2000 IRC 2000 VUBC		TYPE OF CONSTRUCTION 5 B UNPROTECTED	
LIVING AREA : FIRST FLOOR 2397 S.F. SECOND FLOOR 3231 S.F. GROUND FLOOR 1439 S.F.			UNFINISHED GROUND FLOOR 312 S.F. GARAGE 961 S.F. COVERED FRONT PORCH 86 S.F.
TOTAL 7067 S.F.			
OWNER NOTES: THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW THE CONSTRUCTION DRAWINGS PRIOR TO BEGINNING ANY CONSTRUCTION OR ORDERING MATERIALS. ANY CHANGE OR ALTERATIONS TO THE APPROVED DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO REVISING THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATING THE ARCHITECTURAL DRAWINGS WITH THE MECHANICAL, PLUMBING & ELECTRICAL CONTRACTORS.			

1. Code Year _____ <input type="checkbox"/> IRC(R5) <input type="checkbox"/> IRC(R3)																		
2. Number of stories above grade _____																		
3. Sprinklers _____																		
4. Fire-resistance design of firewall _____ townhouses only, where required																		
5. Problem soils <input type="checkbox"/> Yes <input type="checkbox"/> No																		
6. Silt report <input type="checkbox"/> Yes <input type="checkbox"/> No if Yes, submit one copy																		
7. Design soils bearing pressure _____																		
8. Design soils lateral pressure _____																		
9. Foundation wall design: Wall thickness: _____ inches Maximum height of wall: _____ feet Maximum height of backfill: _____ feet Type: <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry Design: <input type="checkbox"/> Plain <input type="checkbox"/> Reinforced																		
10. Material specifications (e.g., woodspecies, grade masonry, steel, etc.) and locations _____ _____ _____																		
11. Design loads, psf <table><tr><td>Area</td><td>Dead Load</td><td>Live Load</td></tr><tr><td>Dwelling unit</td><td></td><td></td></tr><tr><td>Sleeping rooms</td><td></td><td></td></tr><tr><td>Roof</td><td></td><td></td></tr><tr><td>Wind</td><td></td><td></td></tr><tr><td>Tornado</td><td></td><td></td></tr></table>	Area	Dead Load	Live Load	Dwelling unit			Sleeping rooms			Roof			Wind			Tornado		
Area	Dead Load	Live Load																
Dwelling unit																		
Sleeping rooms																		
Roof																		
Wind																		
Tornado																		
12. Components and cladding meet required loads <input type="checkbox"/> Yes <input type="checkbox"/> No																		

13. Landings at exterior doors: <input type="checkbox"/> Per 2000 IRC/IBC, 7.7.5 inches <input type="checkbox"/> Per 2003 IRC/IBC, 7.7.5 inches * *Showing this option designates a code modification request appearing in a request not covered and pending approval
14. Are there building related development conditions (i.e. potholes, special exceptions, special permits, variances)? <input type="checkbox"/> Yes <input type="checkbox"/> No if Yes, complete below - note referenced page in which related details/notes can be found in the construction documents: <input type="checkbox"/> Affordable dwelling units (ADU), page _____ do ADU's comply with Housing & Community Development Specifications? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Sound transmission class rating, page _____ <input type="checkbox"/> Other: _____ page: _____ <input type="checkbox"/> Other: _____ page: _____ <input type="checkbox"/> Other: _____ page: _____
15. Exterior Insulation and Finish Systems (EIFS) <input type="checkbox"/> Yes <input type="checkbox"/> No if Yes, evaluation report number _____
16. Utility company easements on this site: <input type="checkbox"/> Yes <input type="checkbox"/> No
17. Wall bracing, choose method R602.10 <input type="checkbox"/> Braced panels per Table R602.10.1 Method Number: _____ R602.10.3 <input type="checkbox"/> Continuous panels constructed in accordance with Table 602.10.5 (must be method 3) <input type="checkbox"/> Alternate braced walls, R602.10.6 <input type="checkbox"/> Other method: (provide evaluation report for manufactured products)
18. Steel columns: <input type="checkbox"/> AISC standard pipe, ASTM A501, A53 <input type="checkbox"/> ICC approved (provide evaluation report) <input type="checkbox"/> Not applicable

19. Pre-manufactured floor and/or roof trusses: (this does not include TJI, GPL, PT, etc.) <input type="checkbox"/> Yes <input type="checkbox"/> No if Yes, these sets of shop drawings, signed and sealed by the truss designer, must be submitted prior to erection. A completed TRUSS PLAN COVER SHEET must be attached to each sheet 20. Masterfile plan <input type="checkbox"/> Yes <input type="checkbox"/> No if Yes, complete the information below. Model name: _____ Subdivision plan number _____ 21. Job location (note address and / or subdivision) _____ _____ _____ 22. Name, address, occupation of designer: If designed by a licensed professional registered in the Commonwealth of Virginia, provide designer's seal in the space provided below. _____ _____ _____
23. As the designer of this structure, I have reviewed the building related development conditions (if any) of the associated subdivision or grading plan, and the information on this sheet is correct. I hereby certify that the information on this sheet is correct. signature _____ date _____

COUNTY OF FAIRFAX, VIRGINIA BUILDING PLAN REVIEW DIVISION LAND DEVELOPMENT SERVICES, DPW/ES PLAN APPROVAL IS FOR PERMITS ISSUANCE AND IS SUBJECT TO CORRECTION NOTES ON PLANS AND ISSUANCE OF PERMIT. IT IS NOT A GUARANTEE OF WORK IN ACCORDANCE WITH ADOPTED CODES. INSURANCE OF PERMIT DOES NOT PRECLUDE FIELD INSPECTORS FROM ORDERING CORRECTIONS TO NOTED DEFICIENCIES ARE NOTED DURING INSPECTIONS. NO INSPECTION SHALL BE MADE UNLESS AN APPROVED SET OF PLANS IS ON THE JOB SITE. NO CHANGES SHALL BE MADE TO THE APPROVED PLANS WITHOUT PRIOR APPROVAL OF THIS BUILDING PLAN REVIEW DIVISION. CALL MISS UTILITY AT 1-800-522-7001 BEFORE YOU DIG. These drawings were not reviewed for compliance relative to electrical, mechanical, or plumbing elements Compliance will be evaluated during inspection by field staff. See FAIRFAX COUNTY TYPICAL DECK DETAILS for the following requirements: <input type="checkbox"/> Ledger attachment <input type="checkbox"/> Footing size <input type="checkbox"/> Post-beam connections <input type="checkbox"/> Stairs <input type="checkbox"/> Post footing connections <input type="checkbox"/> Guardrail handrail APPROVAL: _____ Reviewers initials: _____ Date: _____ Plan Number _____
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SHEET INDEX

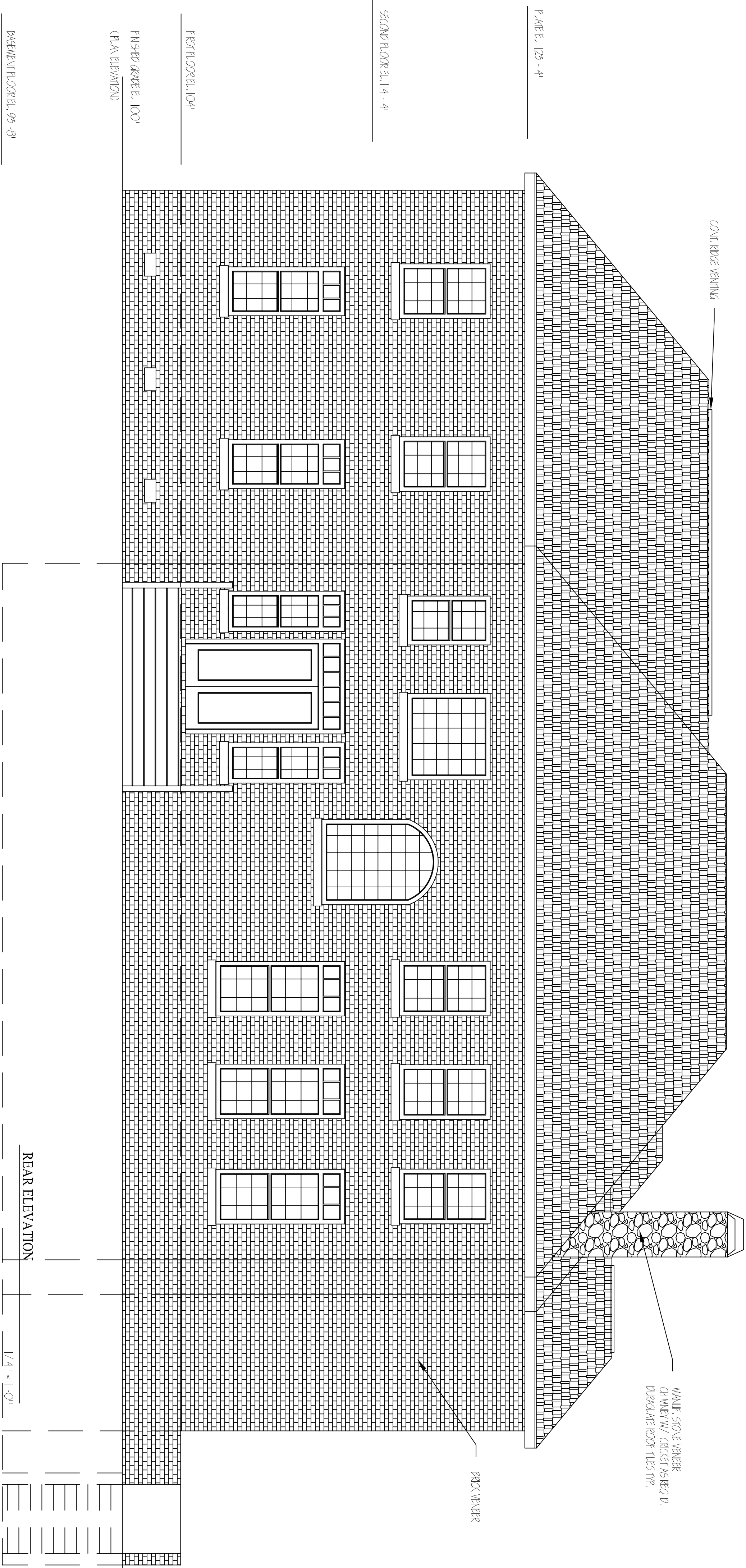
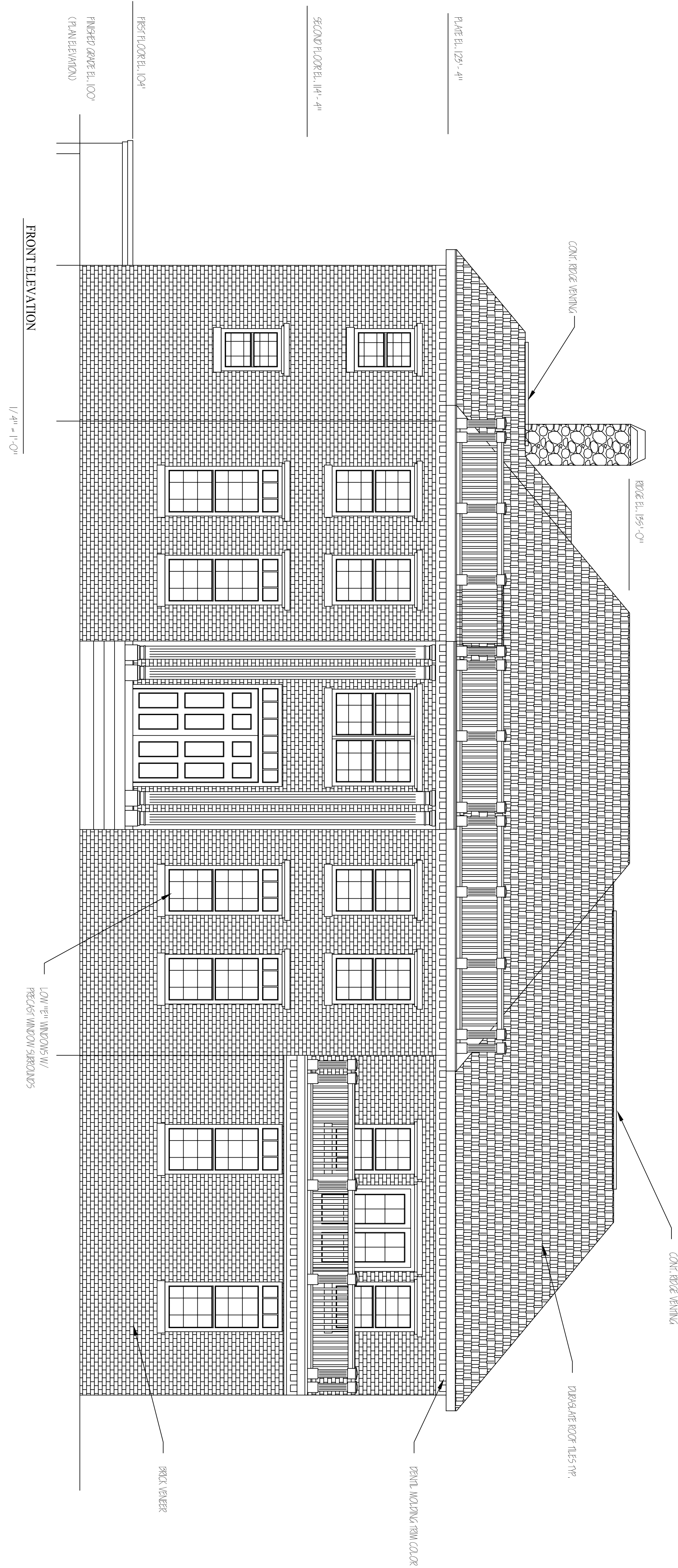
CS	COVER SHEET	
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A1.2	FIRST FLOOR PLAN	
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COVER SHEET

JEFFERSONIAN COLONIAL
3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINA

3/28/05 DM

COVER
SHEET

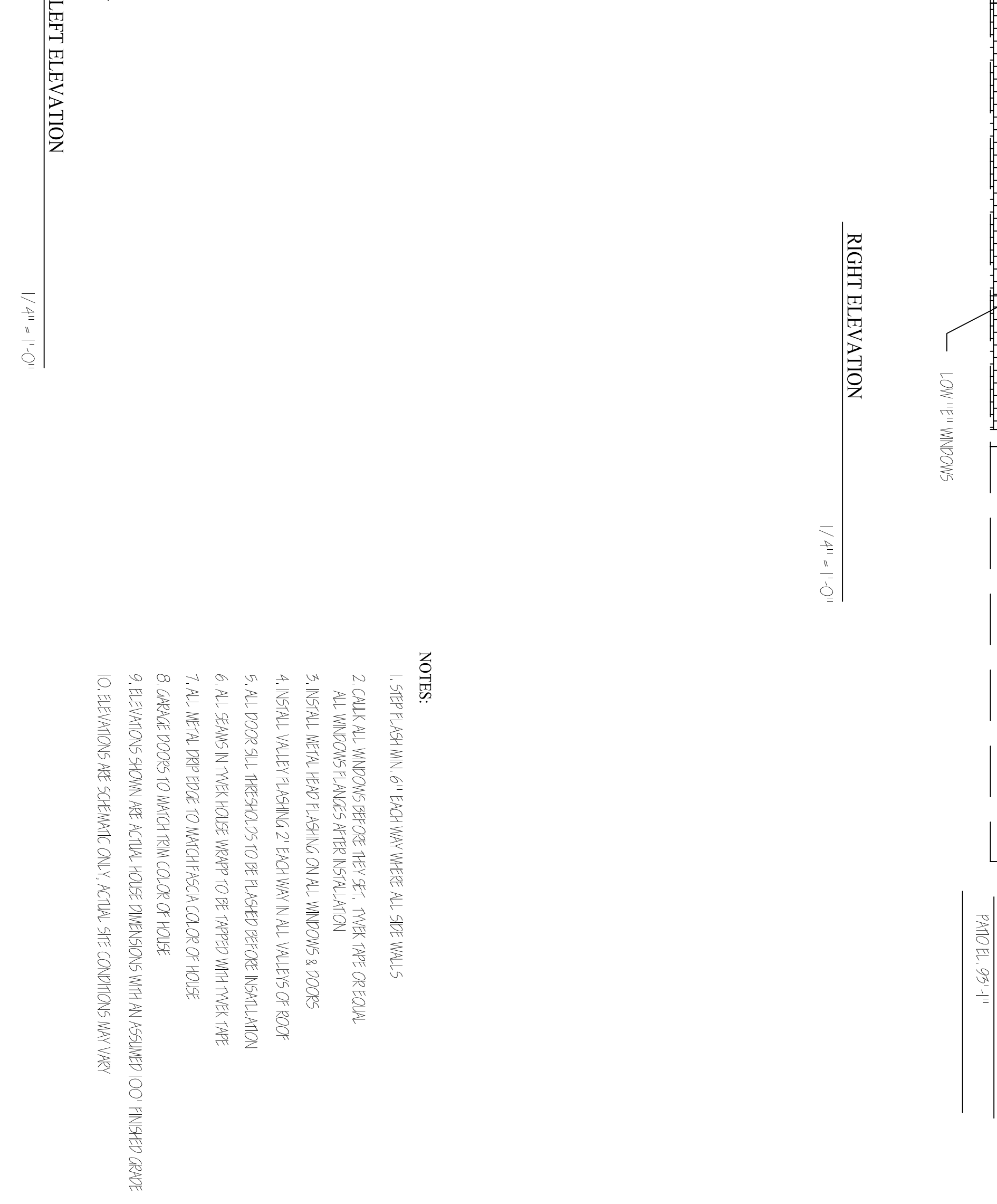
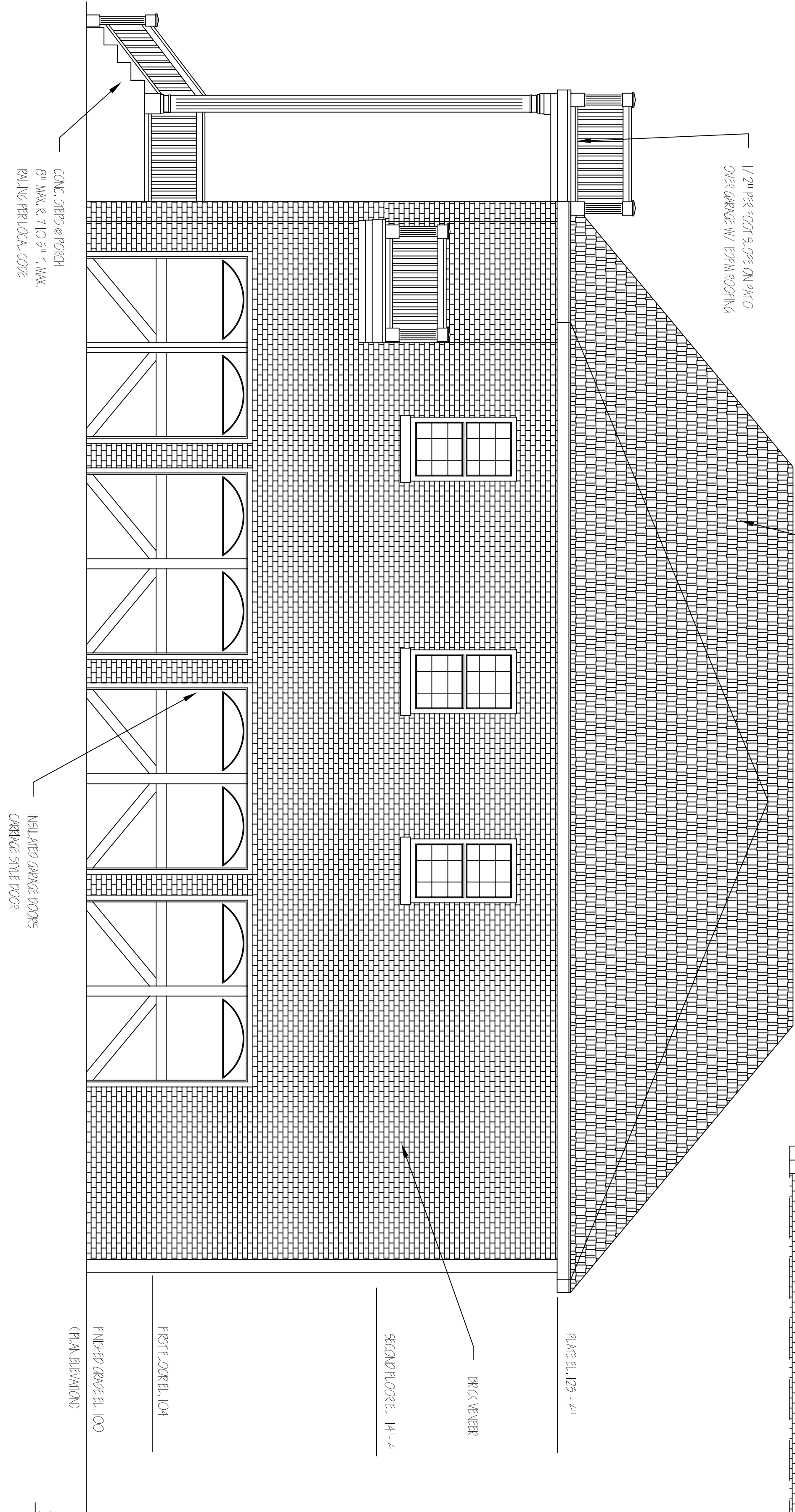


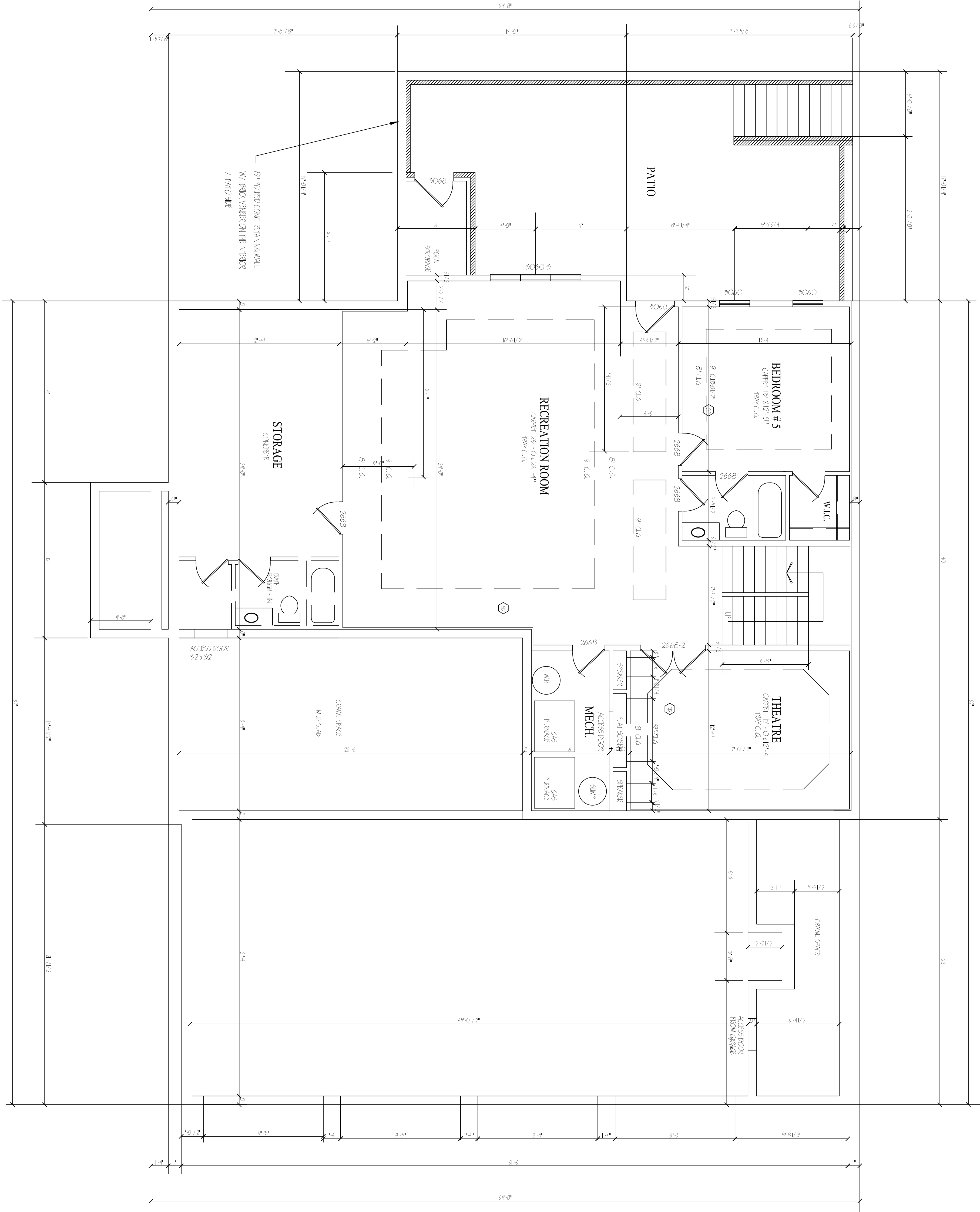
- NOTES:
1. STEP FLASH MIN. 6" EACH WAY WHERE ALL SIDE WALLS
 2. CAULK ALL WINDOWS BEFORE THEY SET. NIXEK TAPE OR EQUIV.
 - ALL WINDOWS FLASHES AFTER INSTALLATION
 5. INSUL. WEIR. HEAD FLASHING ON ALL WINDOWS & DOORS
 4. INSUL. VALLEY FLASHING 2" EACH WAY IN ALL VALLEYS OF ROOF
 5. ALL DOOR & SL. FLASHINGS TO BE PLACED BEFORE INSULATION
 6. ALL SEAMS IN TWEK HOLES WEPP TO BE TAPPED WITH NIXEK TAPE
 7. ALL WEIR. DIRT EDGE TO MATCH FLASH. COLOR OF HOLES
 8. GARAGE DOORS TO MATCH TBM. COLOR OF HOLES
 9. ELEVATIONS SHOWN ARE ACTUAL. HOLES DIMENSIONS WITH AN ASSUMED 100" FINISHED GRADE
 10. ELEVATIONS ARE SCHEMATIC ONLY. ACTUAL SITE CONDITIONS MAY VARY

JEFFERSONIAN COLONIAL
3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINIA

EXTERIOR ELEVATIONS

3.28.05 DM





BASEMENT PLAN

1/4" = 1'-0"

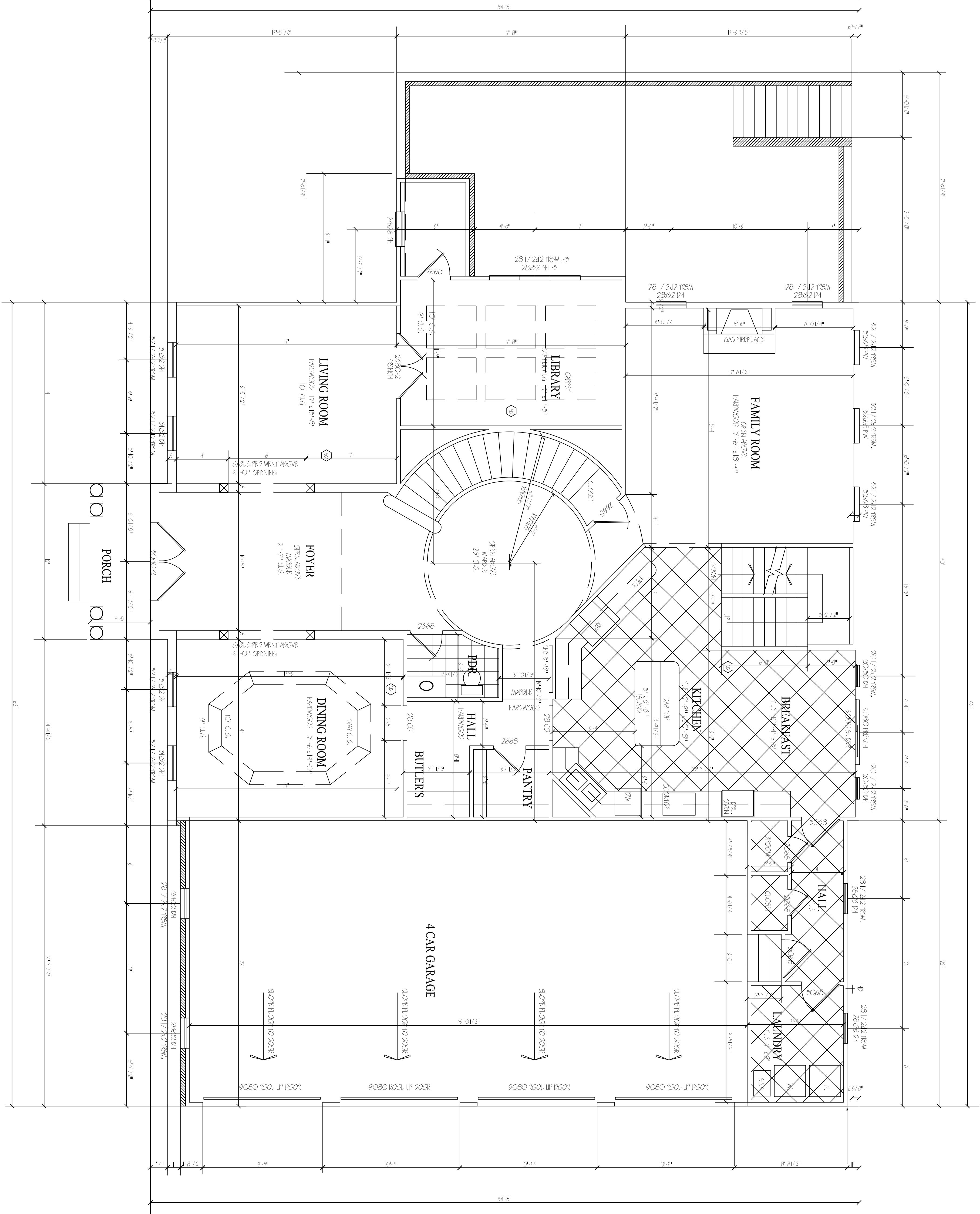
NOTES:
1. FINISHED PER UBC 2000 AND SHALL BE CONSTRUCTED ACCORDINGLY
2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS
3. PRIOR TO CONSTRUCTION

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BASEMENT FLOOR PLAN

3/28/05

DM



FIRST FLOOR PLAN

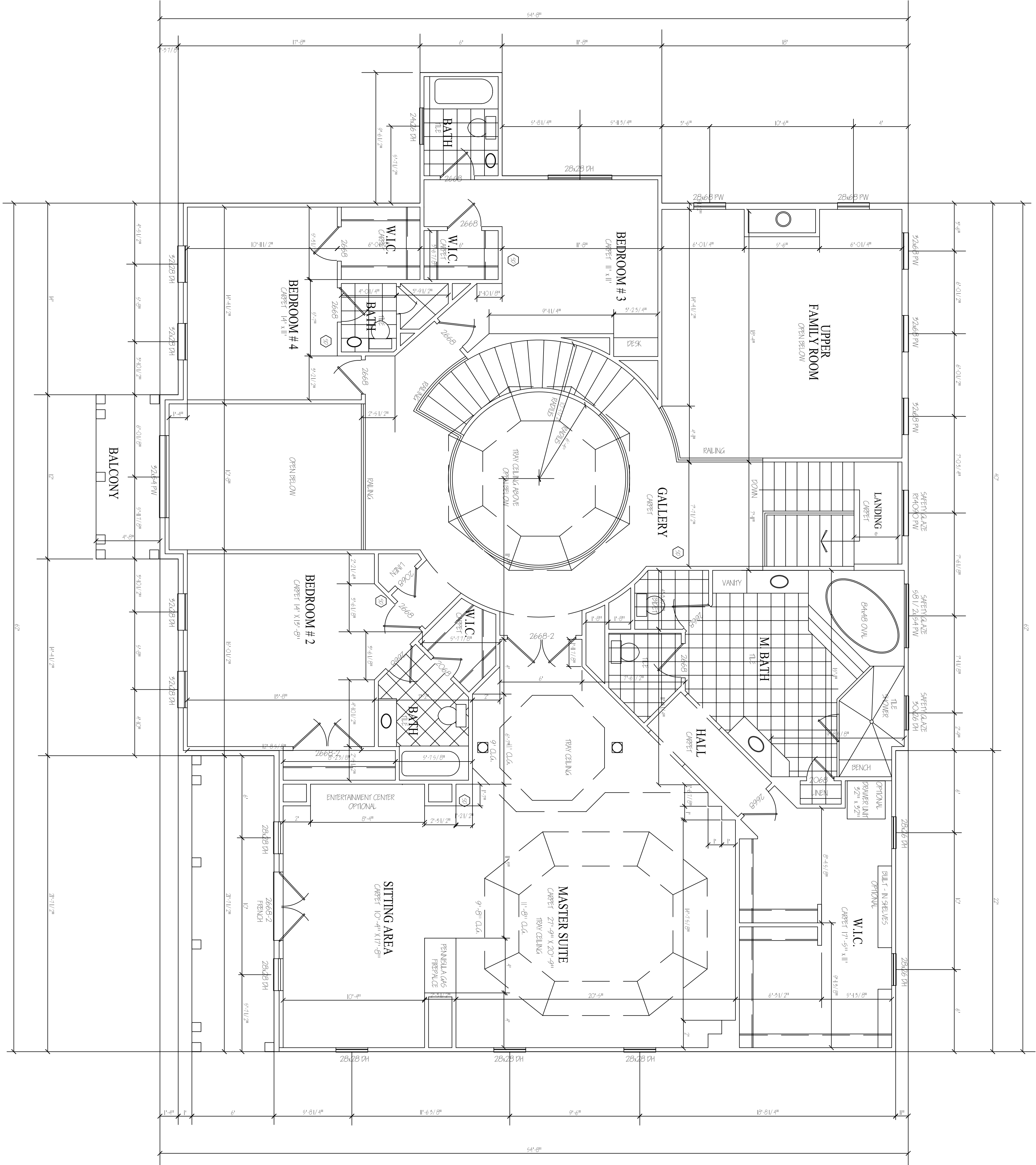
1/4" = 1'-0"

NOTES:

DESIGNED PER VIRC 2000 AND SHALL BE CONSTRUCTED ACCORDINGLY
CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS
PRIOR TO CONSTRUCTION

FIRST FLOOR PLAN

JEFFERSONIAN COLONIAL
3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINIA



SECOND FLOOR PLAN

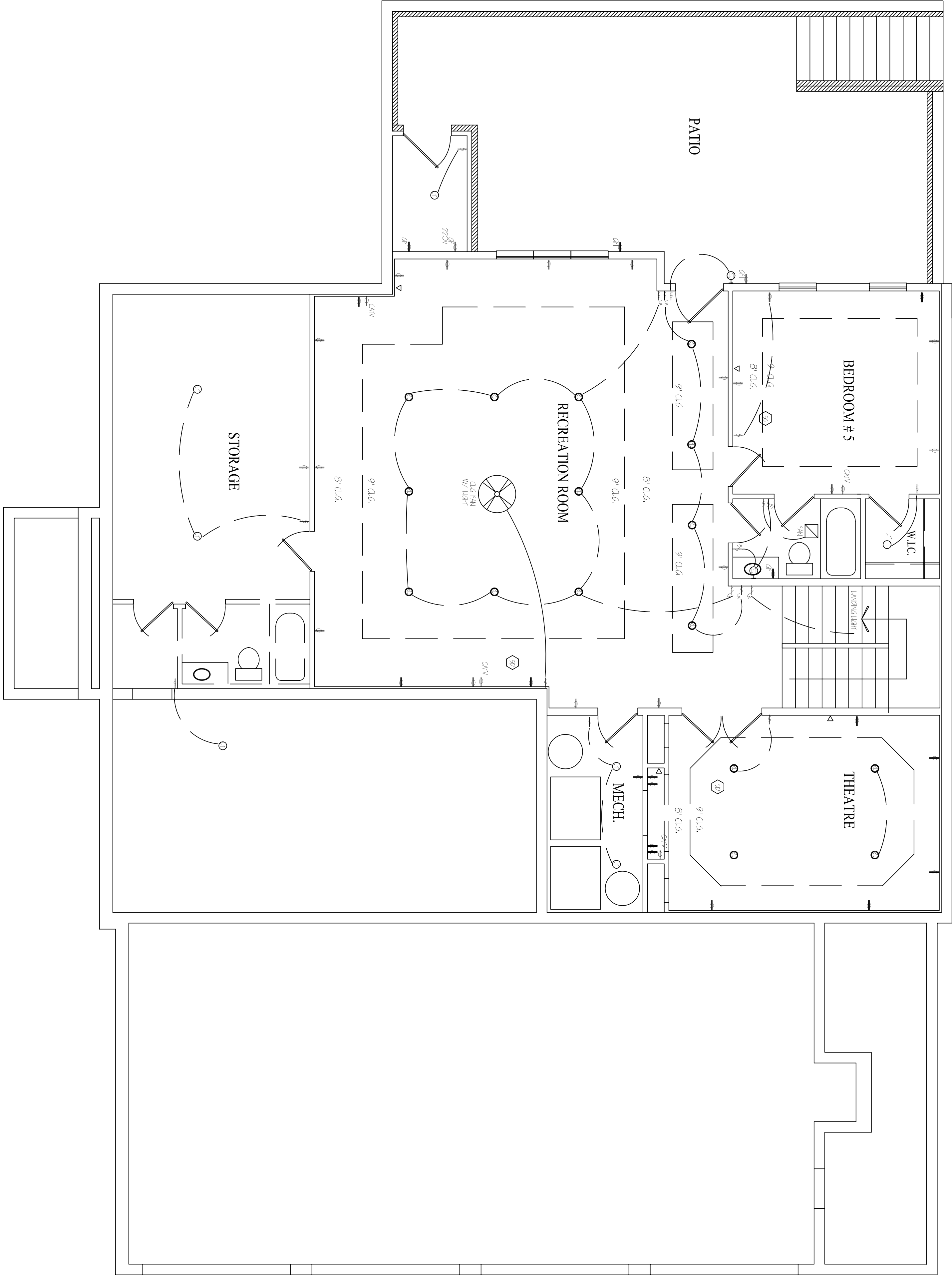
1/4" = 1'-0"

NOTES:

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3233 FOX MILL ROAD
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OAKTON, VIRGINIA

SECOND FLOOR PLAN



- SMOKE DETECTOR
- PHONE JACK
- 3 WAY SWITCH
- SWITCH
- CABLE OUTLET
- OUTLET GROUND FAULT INTERCEPTOR
- WATER PROOF OUTLET
- 250 VOLT OUTLET
- RECESSED LIGHT
- WALL MOUNTED LIGHT
- CEILING MOUNTED LIGHT
- CEILING MOUNTED FAN W/LIGHT
- FLUORESCENT LIGHT

BASMENT ELECTRICAL PLAN

1/4" = 1'-0"

NOTES:

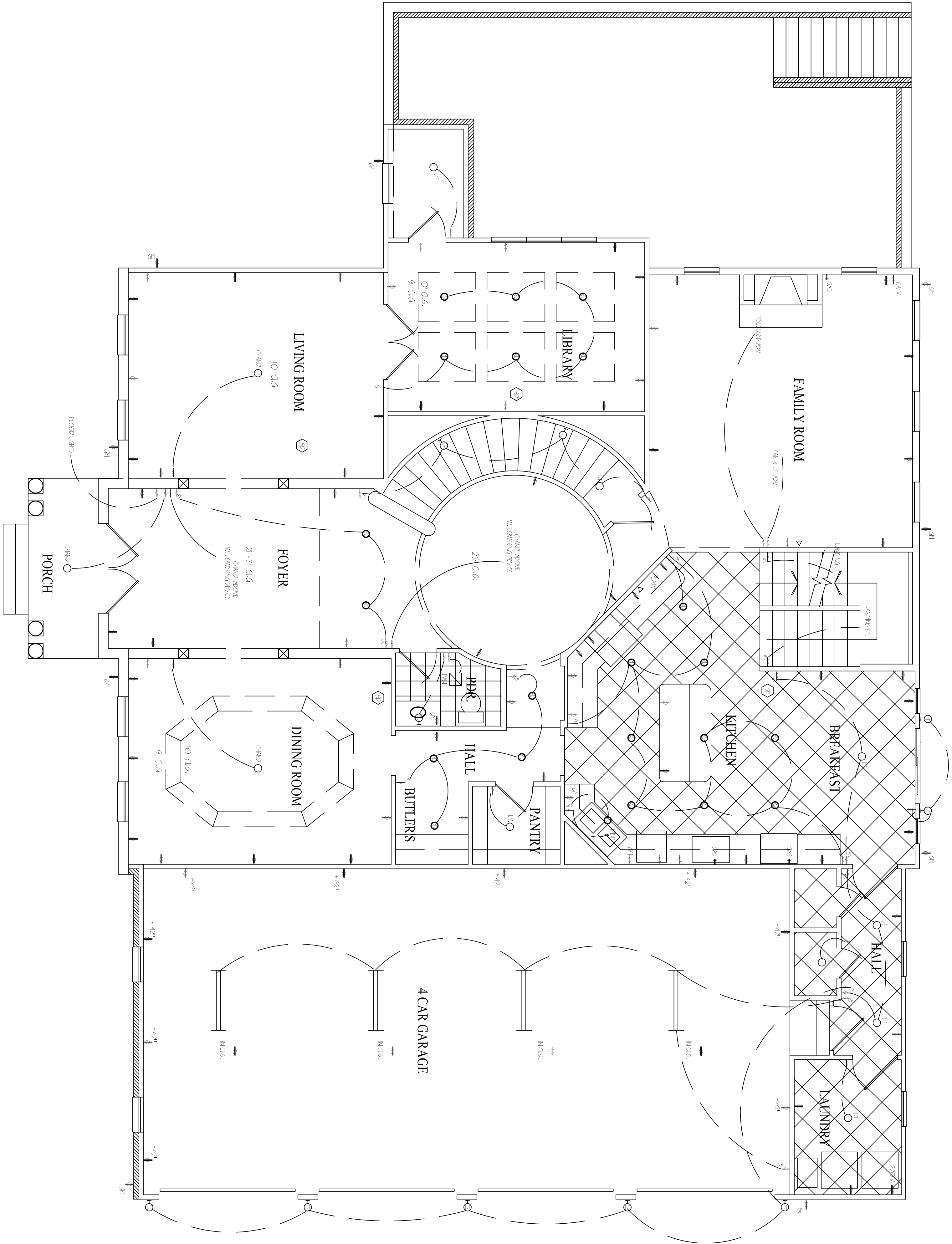
DESIGNED PER UBC 2000 AND SHALL BE CONSTRUCTED ACCORDINGLY
CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS
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BASMENT ELECTRICAL PLAN

JEFFERSONIAN COLONIAL
3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINIA

3/28/05

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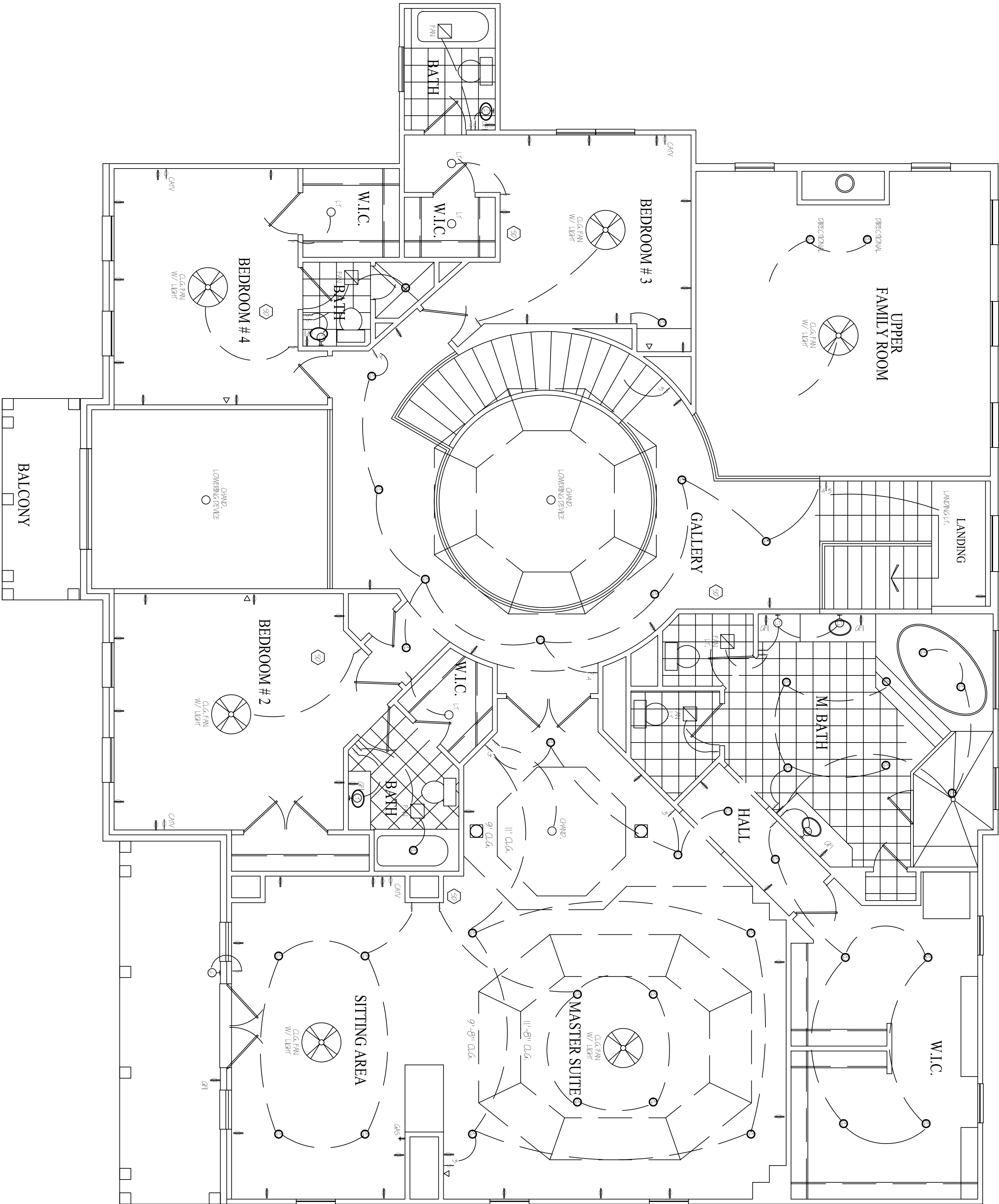


FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

NOTES:
DESIGNED PER UBC 2000 AND SHALL BE CONSTRUCTED ACCORDINGLY
CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS
PRIOR TO CONSTRUCTION

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3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINIA

ELECTRICAL PLAN



SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

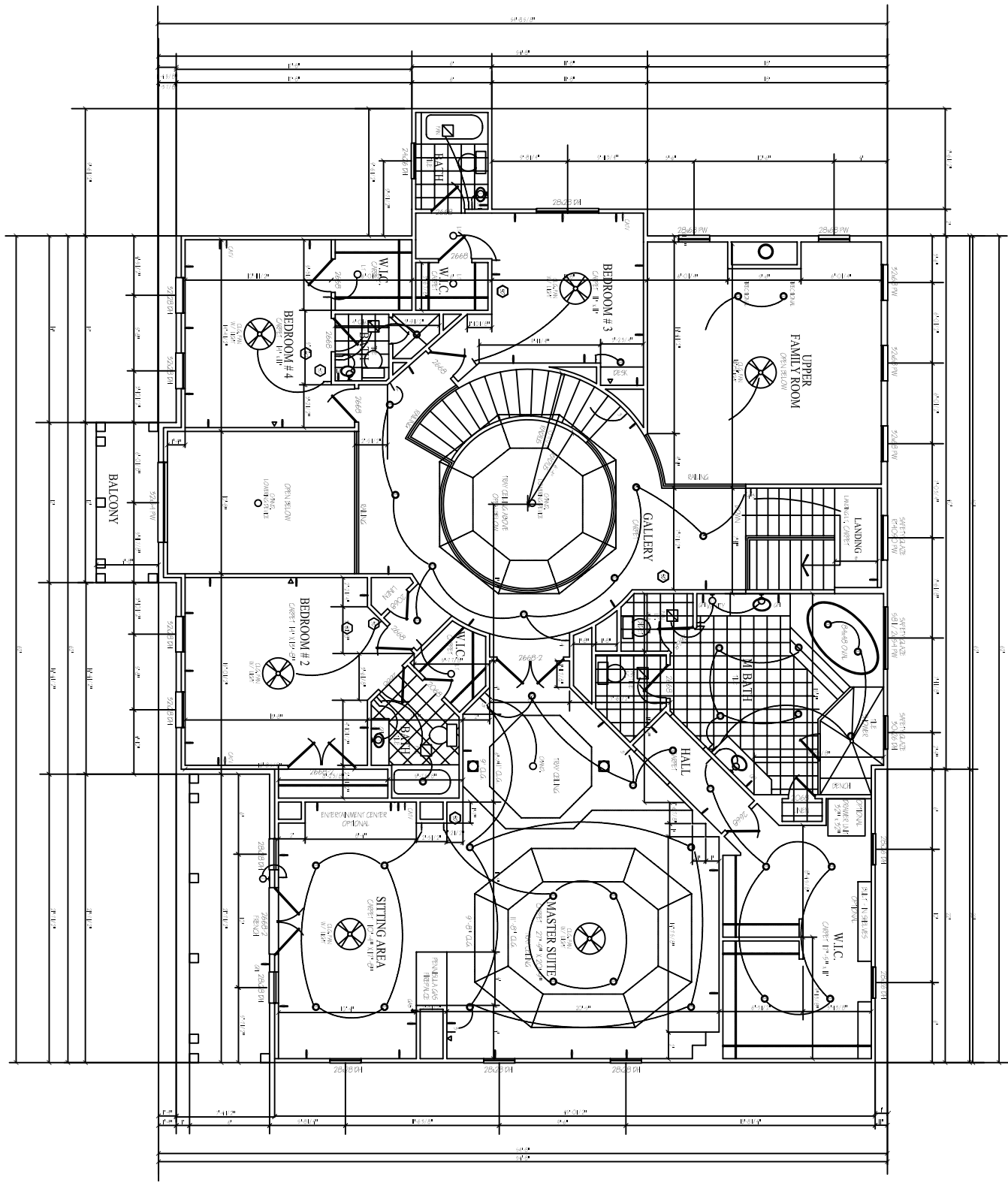
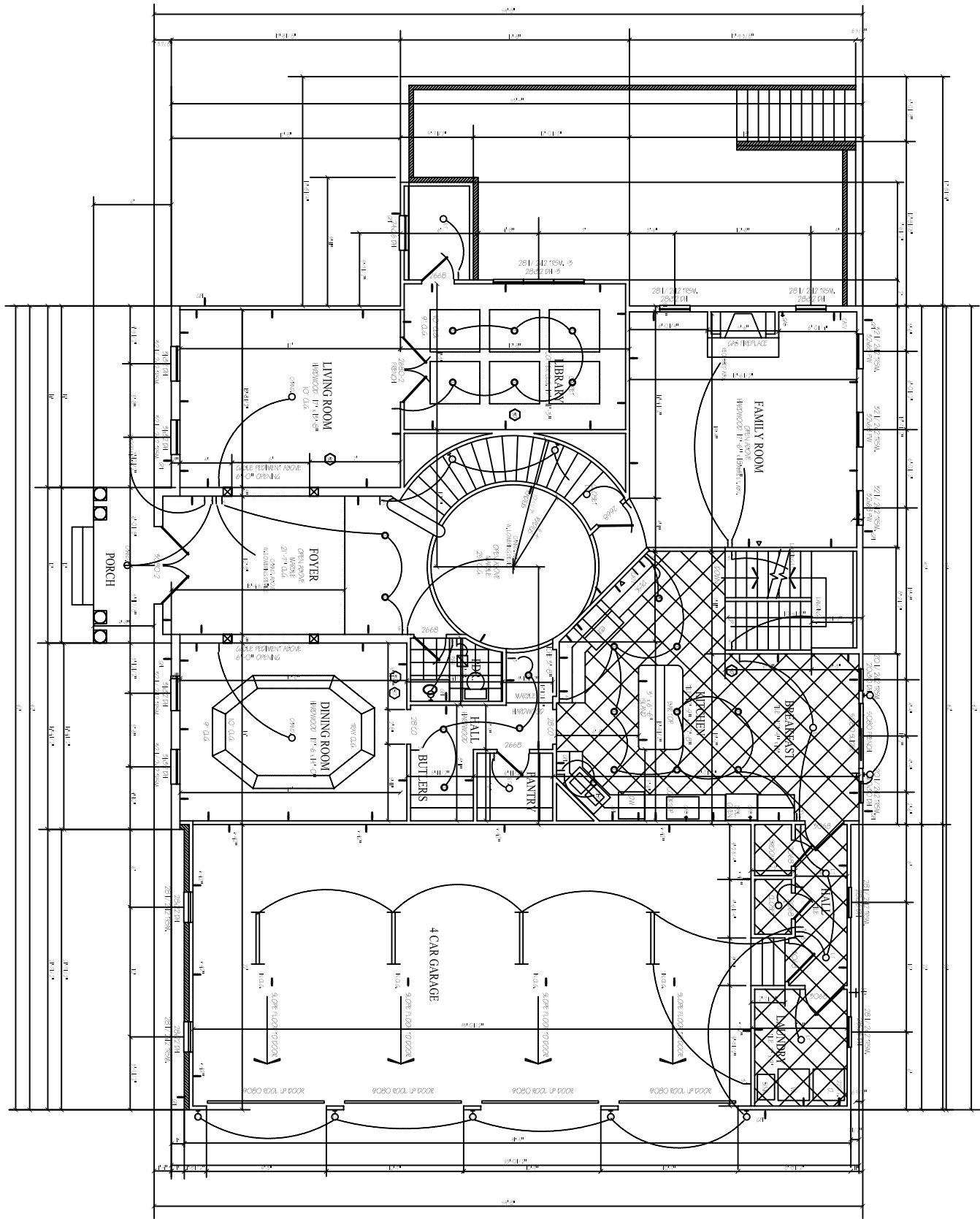
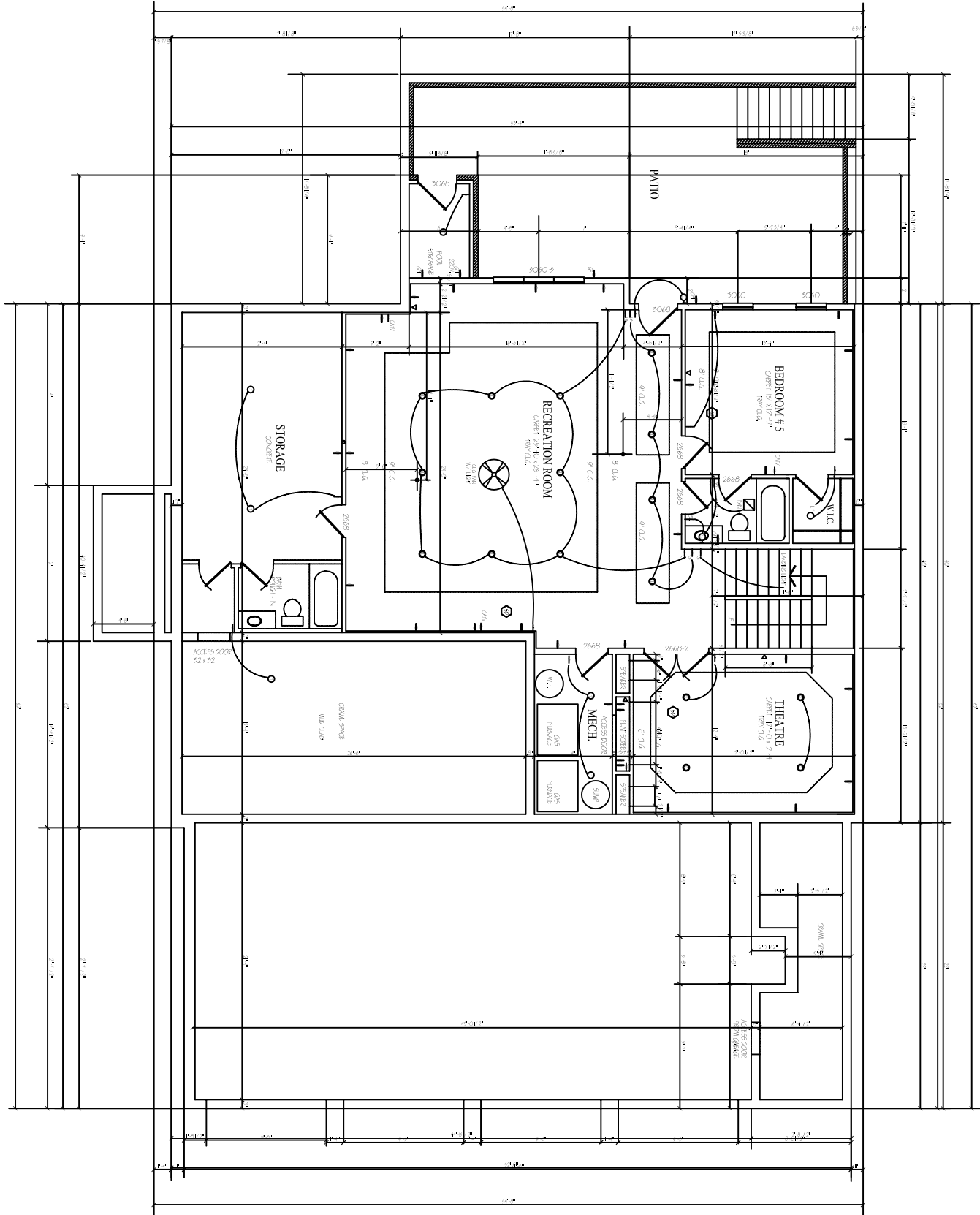
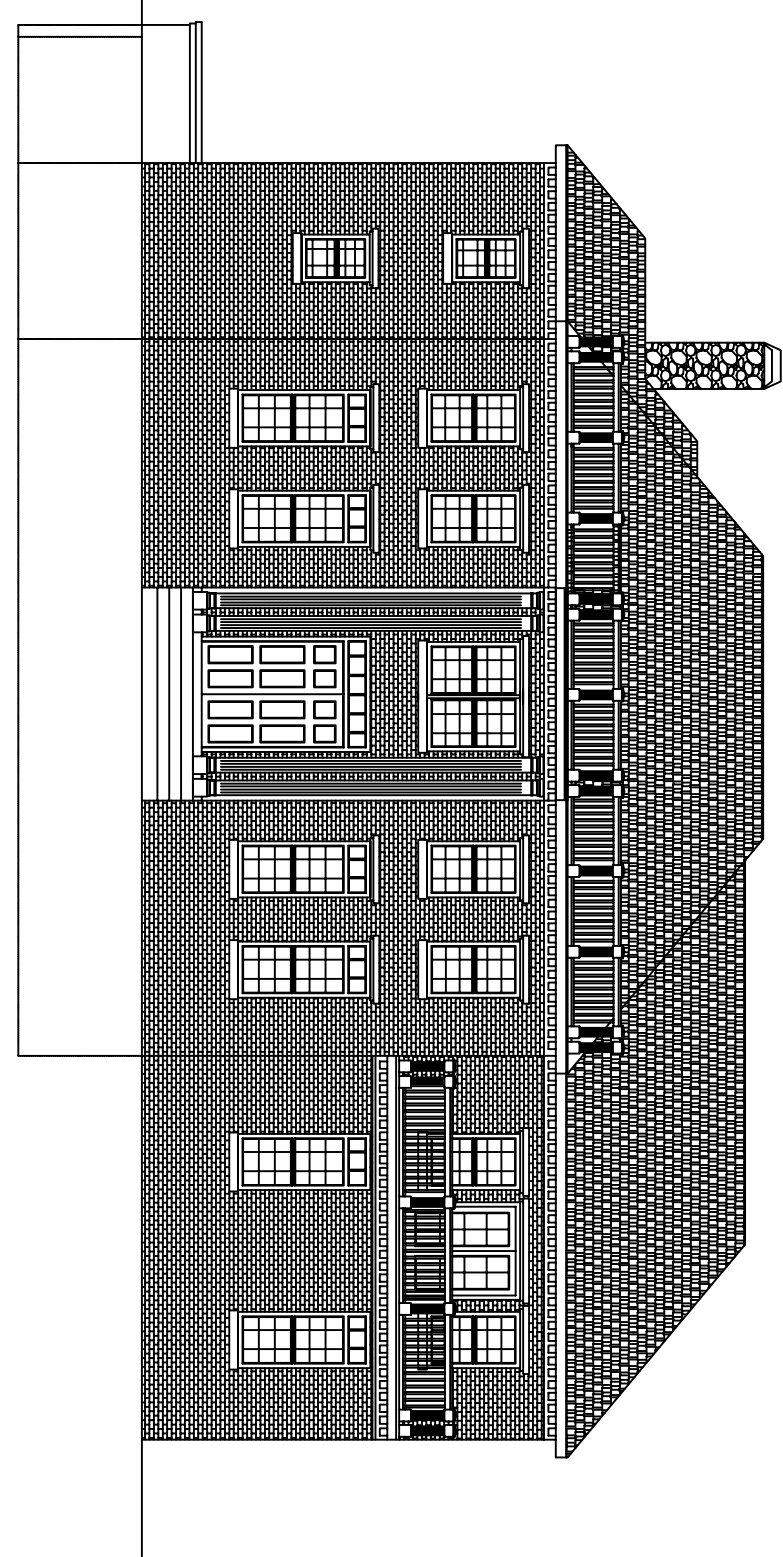
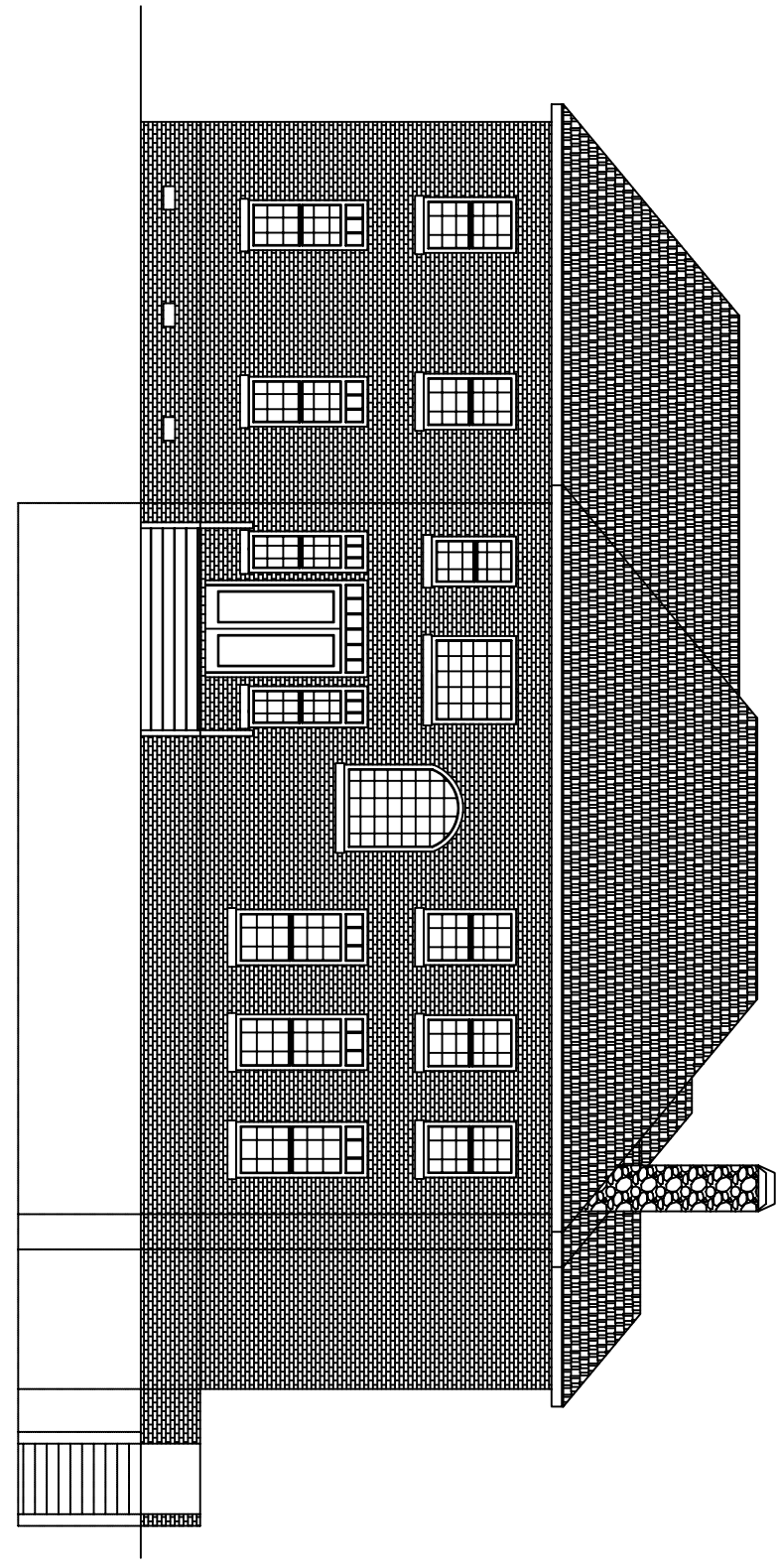
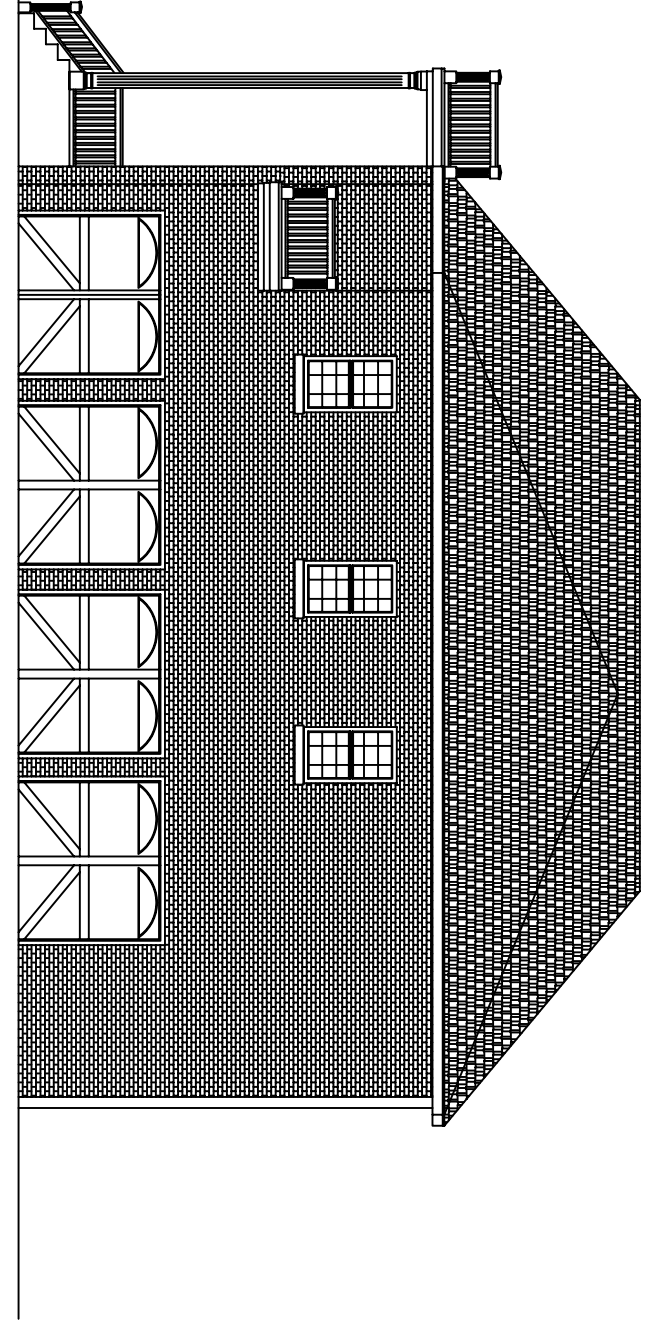
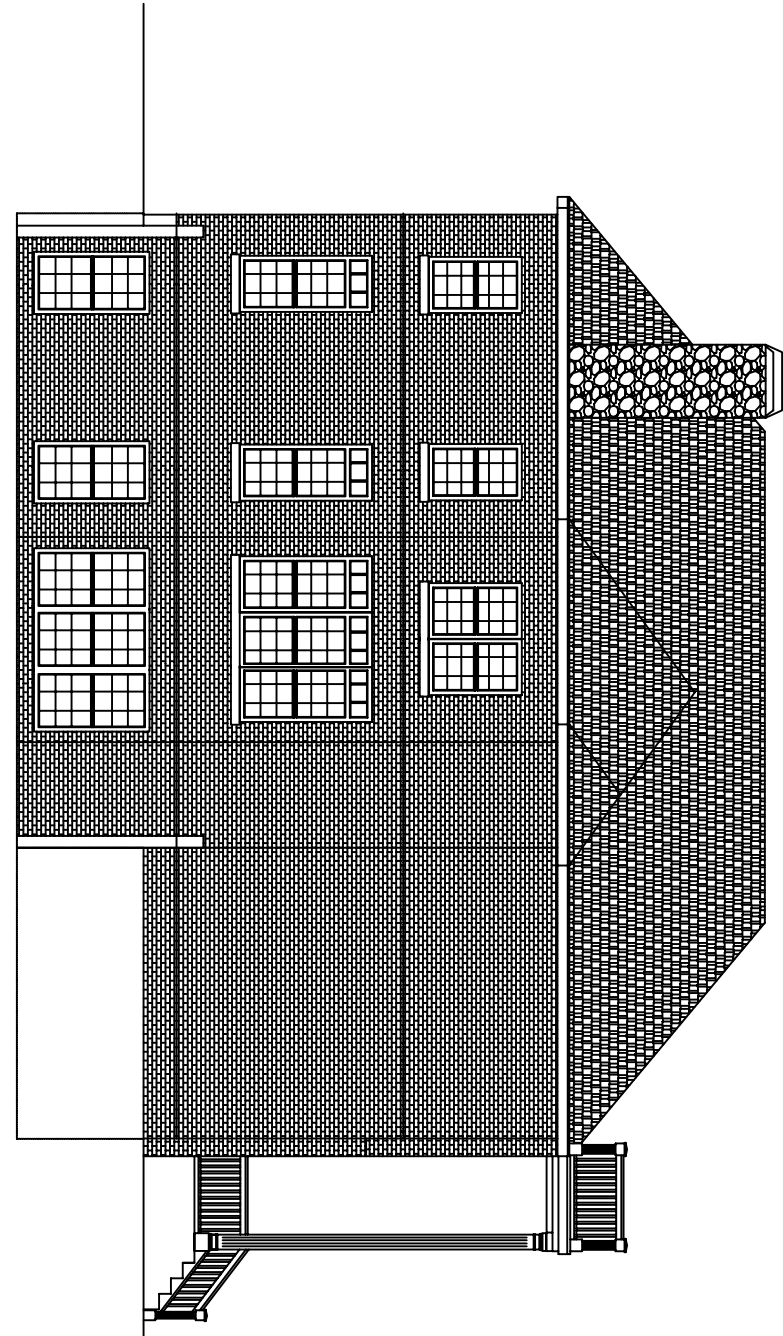
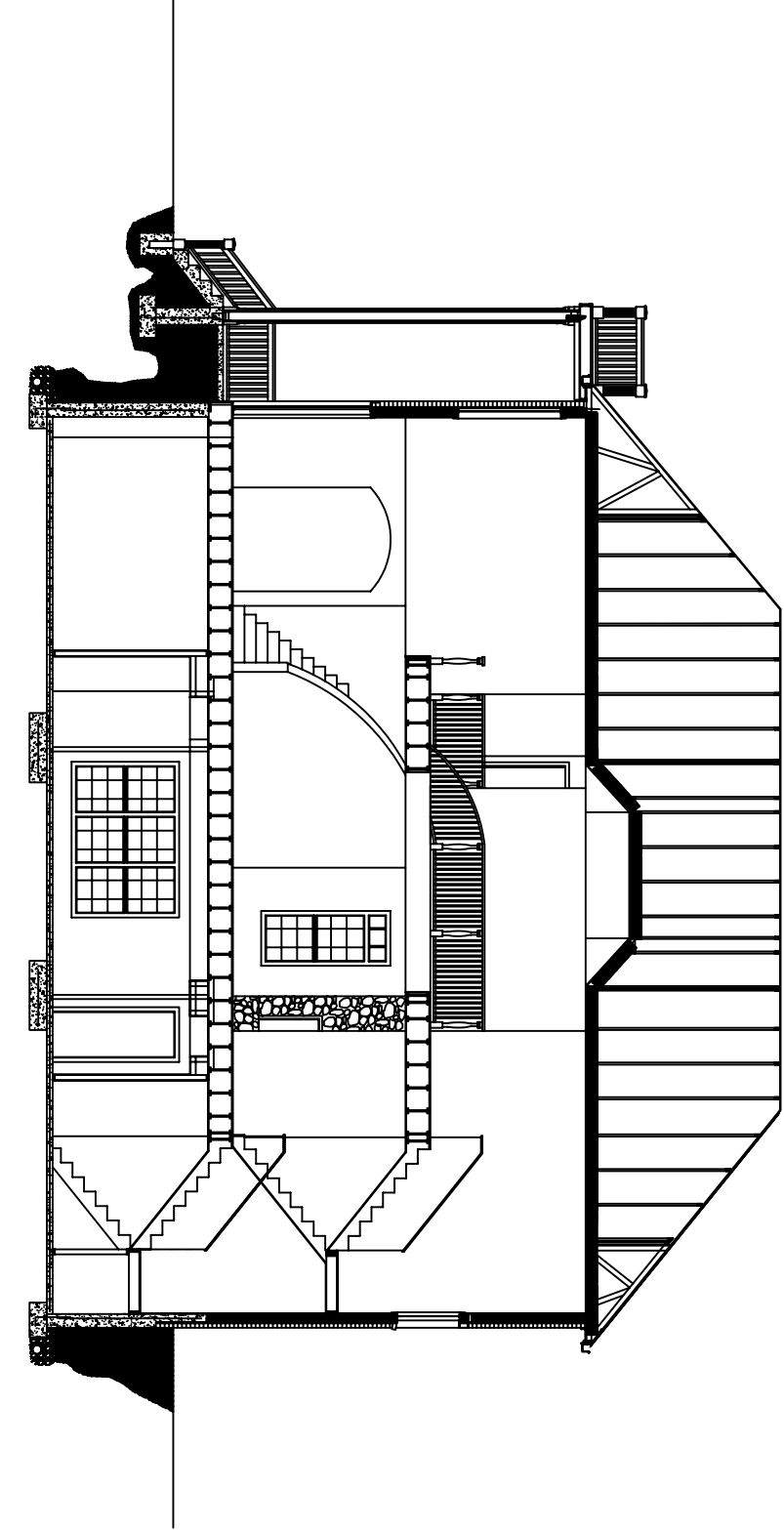
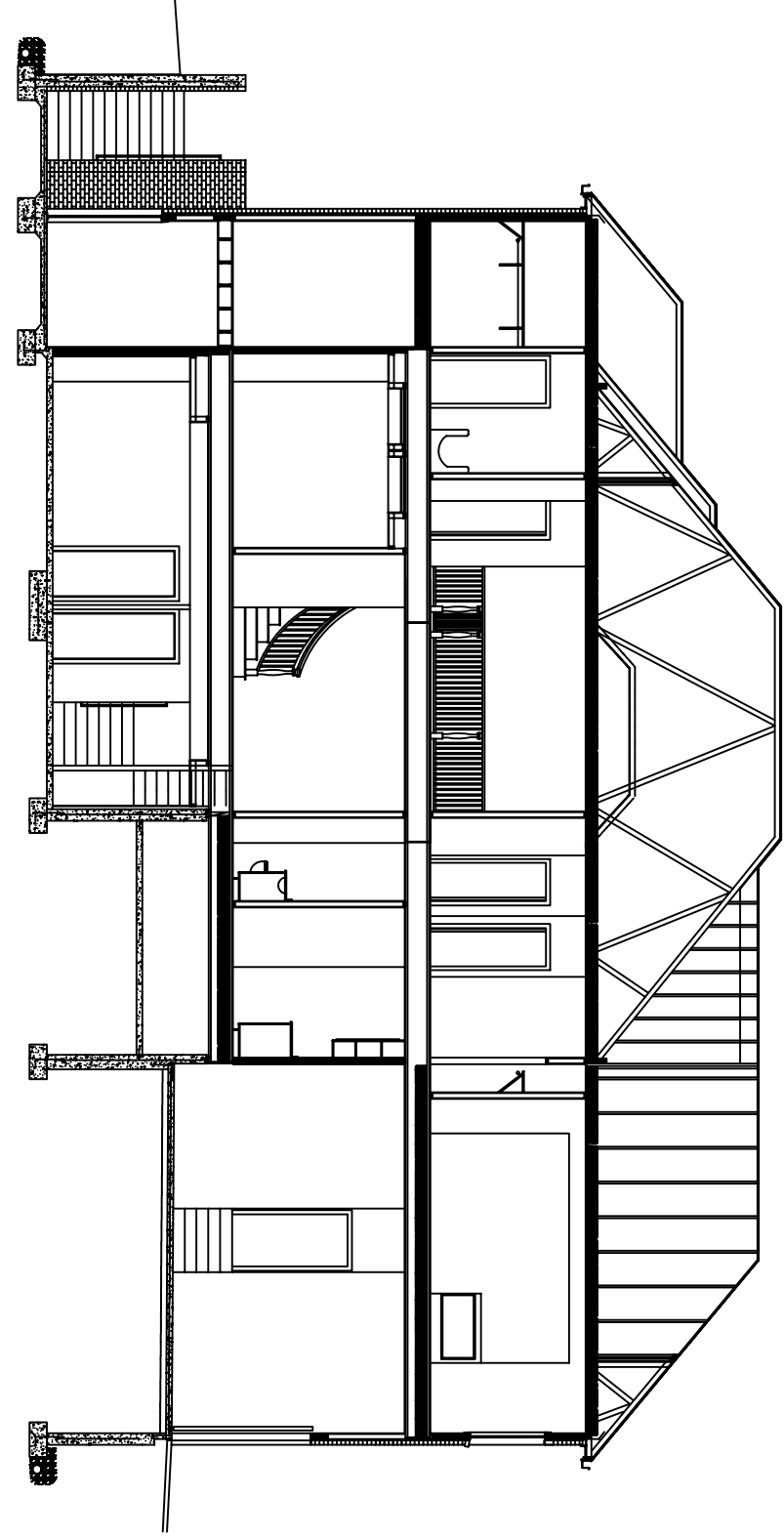
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3233 FOX MILL ROAD
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OAKTON, VIRGINIA

ELECTRICAL PLAN

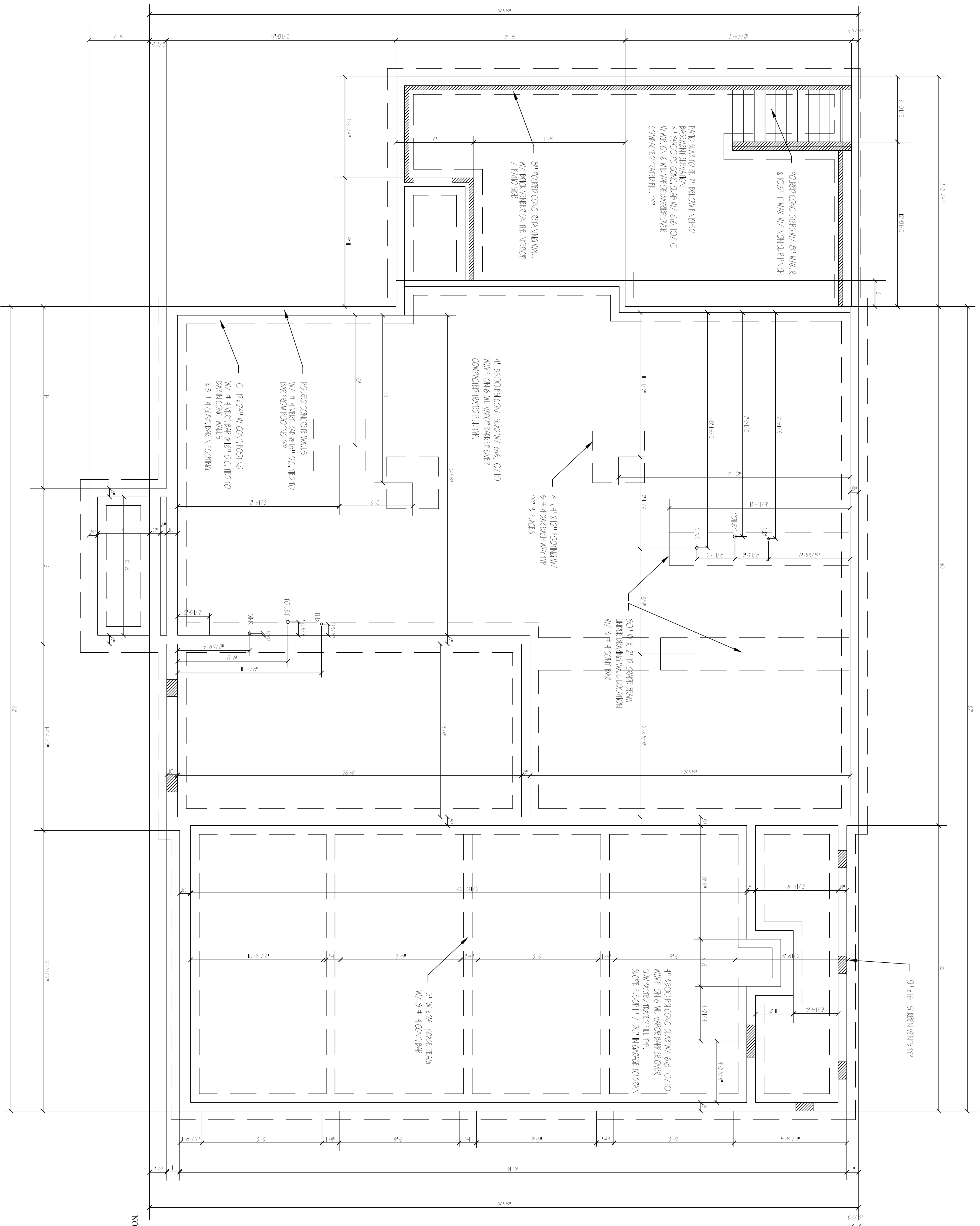
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3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINIA

FOUNDATION PLAN



NOTES:

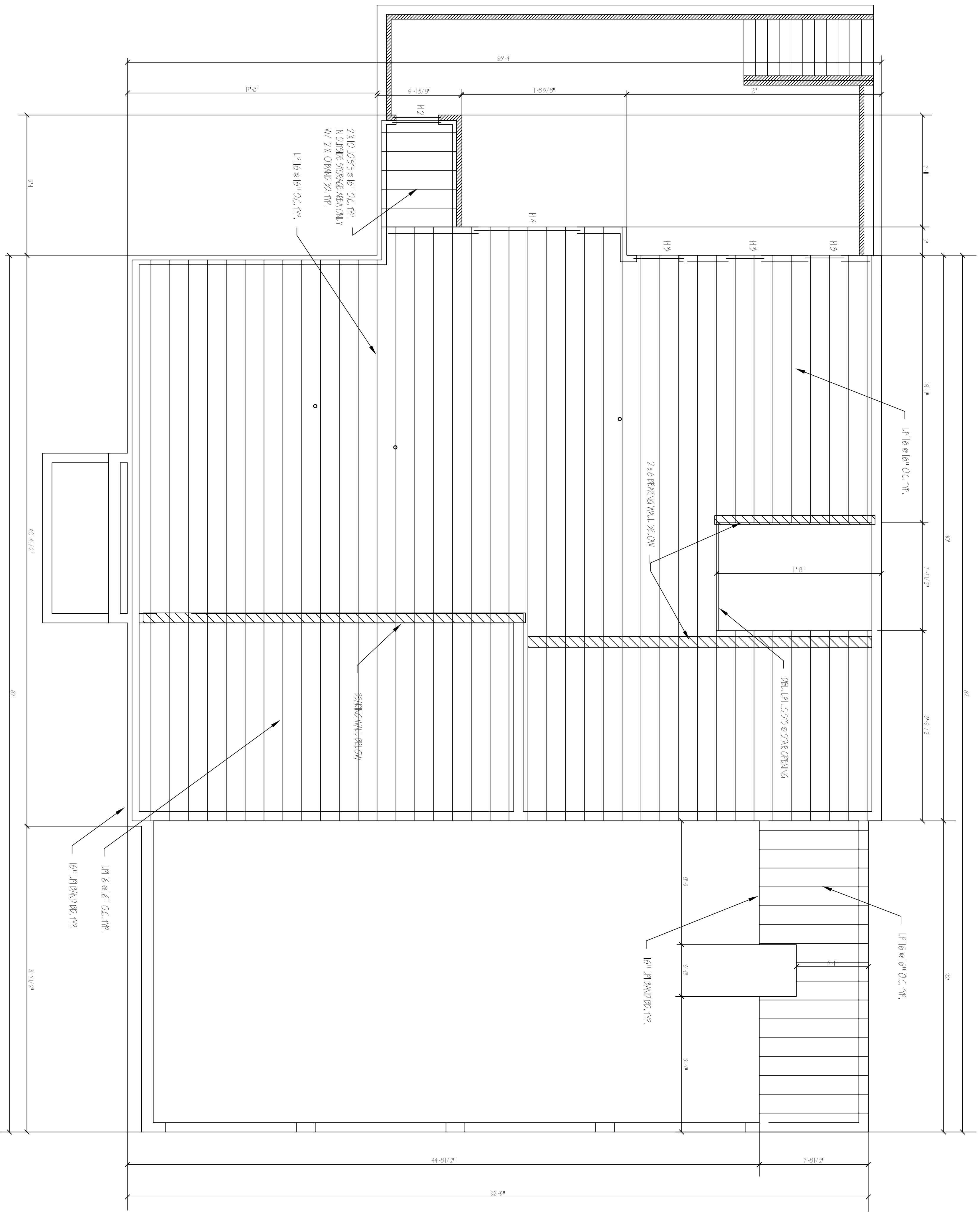
1. THE REIN OF THE FOUNDATION IS BARELY 100% AS ISSUED 2000 IS 1% REINFORCATION. SHOULD AN ADDITIONAL 1% CONDUIT BE EXCONVERTED UNDER WAY BE REQUIRED TO HAVE SOLI 150% IN A GEOTECH PLANNER.
2. ALL OF SOLI PERBES AND ORGANIC MATTER SHALL BE REMOVED FROM TO FOUNDATION OF THE FOUNDATION. ALL SOLI PLACEMENT IN THE FOUNDATION SHALL BE REGULATED, TAMPED AND BE A MECHANICAL TAMPED. THE NUMBER OF CORES SHALL BE 100% AND THE FOUNDATION SHALL BE STEPPED TO SUIT THE CONDITIONS.
3. ALL CONCRETE DEEP FOR FOUNDING AND SOLID CORES SHALL HAVE A MINIMUM (25) PAI REINFORCING STEEL OF 5500 PSI.
4. ALL REINFORCING STEEL TO BE GRADE 40 OR BETTER.
5. ALL FOUNDING MUST BE A MINIMUM OF 24" BELOW GRADE.
6. ALL 3.055 SHALL HAVE A MINIMUM (25) PAI REINFORCING STEEL OF 5500 PSI.
7. FOUNDATIONS SHALL BE LOCATED MINIMUM OF 10" INCHES ABOVE OR BELOW STATE GRADE TO BE 10' OR MORE 7' TALL.
8. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE ACI STANDARDS.

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3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINIA

FLOOR FRAMING PLAN



NOTES:

1. ALL WOOD BEAMS TO BE INSTALLED PER MANUFACTURER'S LAYOUT
2. ALL STRUCTURAL MEMBERS TO BE # 2 S.P.F. OR BETTER

FLOOR FRAMING PLAN

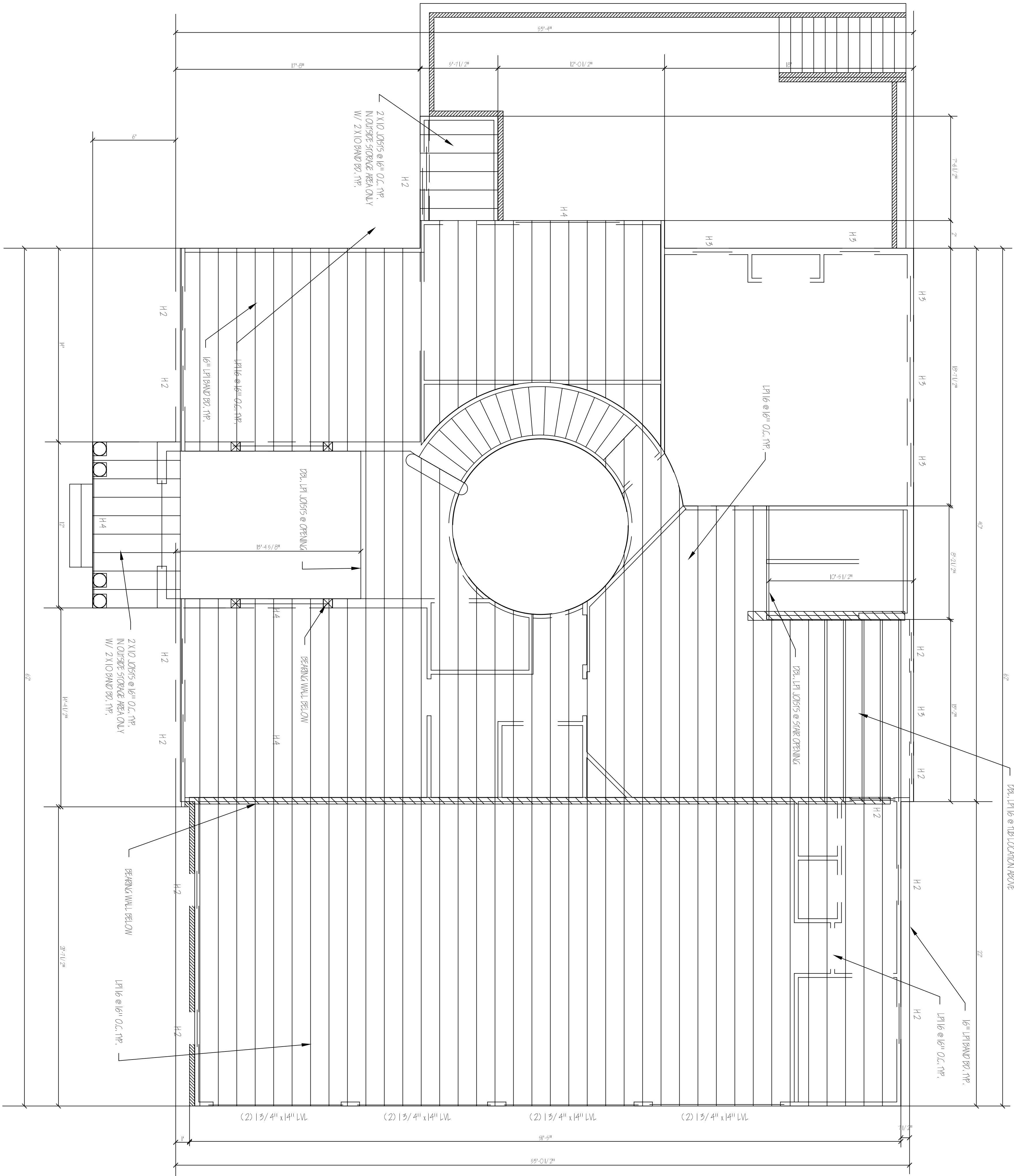
$$1/4'' \approx 1'-0''$$

HEADERS

H1	DBL. 2 X 8 W/ 1/2" MD. SPACER
H2	DBL. 2 X 10 W/ 1/2" MD. SPACER
H3	TRIPLE 2 X 12 W/ 1/2" MD. SPACER
H4	DBL. 1 1/2" 4" X 9.25" LVL

3/28/05

DM



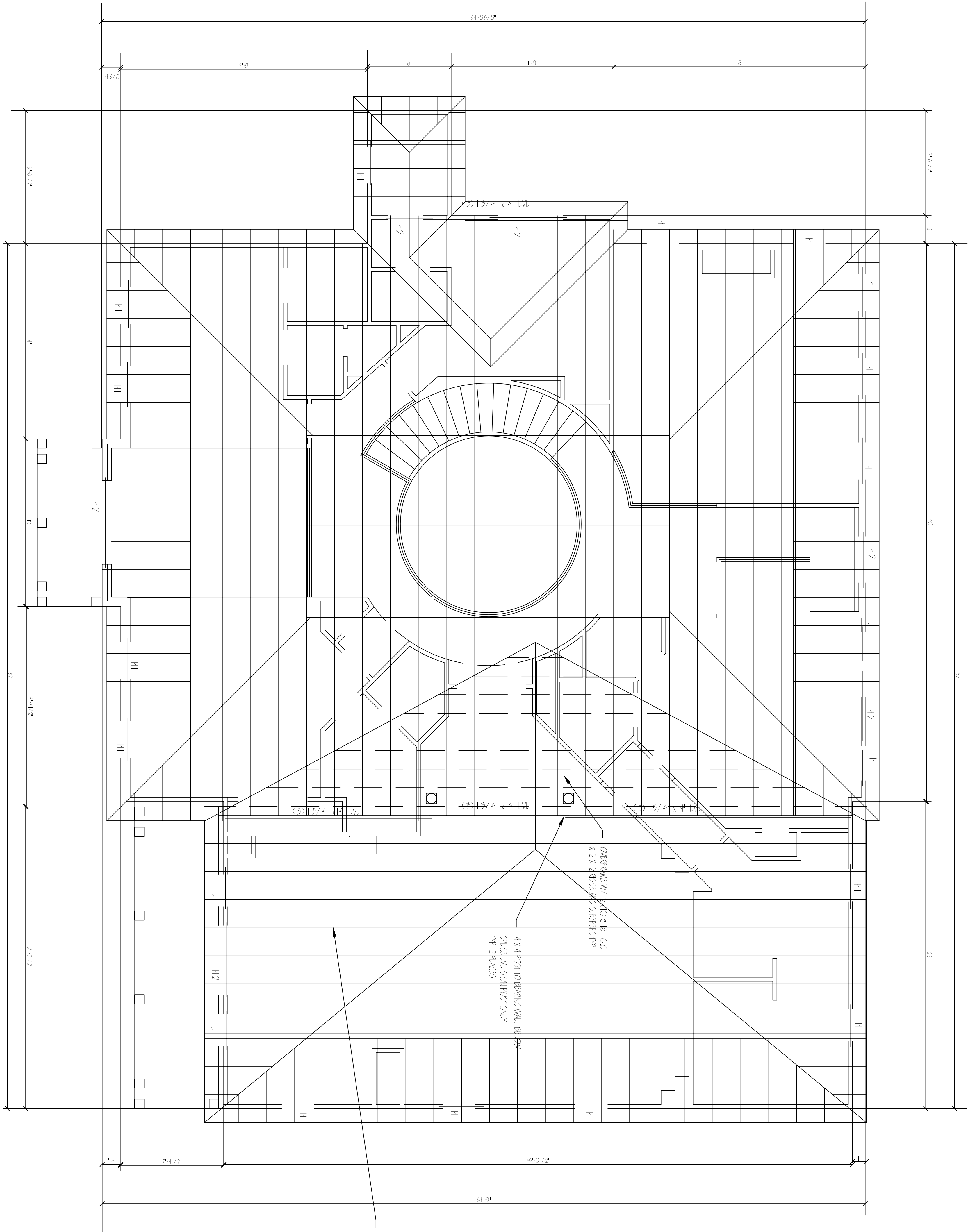
SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

- NOTES:
1. ALL WOOD BEAMS TO BE INSTALLED PER MANUFACTURER'S LAYOUT
 2. ALL STRUCTURAL MEMBERS OF BE # 2 S.F.F. OR BETTER

HEADERS	
H1	DBL. 2X8 W/ 1/2" WD. SPACER
H2	DBL. 2X10 W/ 1/2" WD. SPACER
H3	TRIPLE 2X12 W/ 1/2" WD. SPACER
H4	DBL. 1 1/2" X 9 1/2" LVL.

FLOOR FRAMING PLAN

JEFFERSONIAN COLONIAL
3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINIA



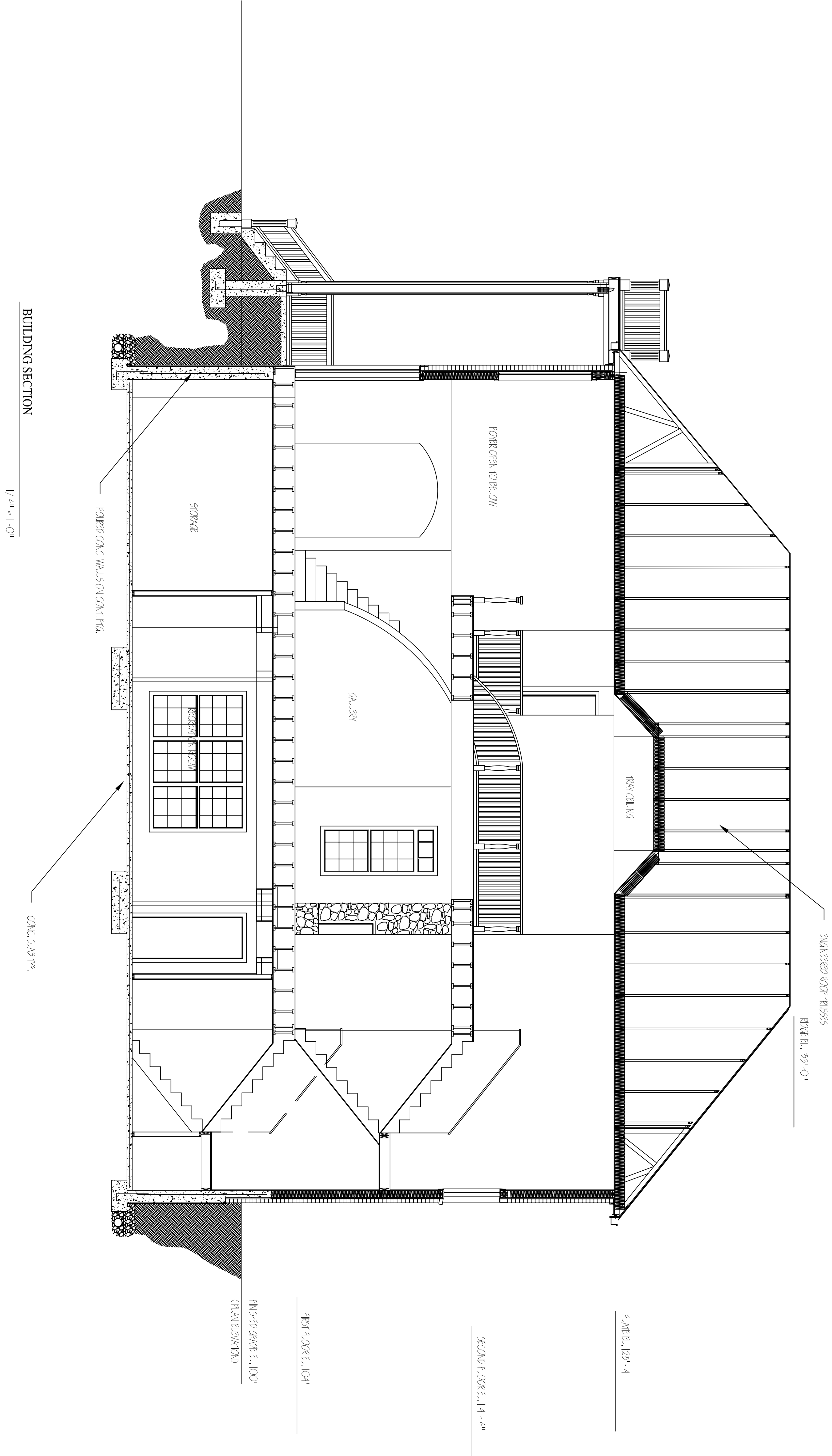
ROOF FRAMING PLAN
1/4" = 1'-0"

- NOTES:
1. ALL ROOF RIDGES & WOOD BEAMS TO BE INSULATED PER MANUFACTURER'S LAYOUT
 2. ALL STRUCTURAL MEMBERS TO BE # 2 SPT. OR BETTER
 3. ENGINEERED RIDGE DRAWINGS TO BE SUBMITTED TO COUNTY PRIOR TO INSTALLATION

HEADERS	
H1	DBL. 2 X 8 W/ 1/2" WD. SPACER
H2	DBL. 2 X 10 W/ 1/2" WD. SPACER
H3	TRIPLE 2 X 12 W/ 1/2" WD. SPACER
H4	DBL. 1 3/4" X 9.25" VL

ROOF FRAMING PLAN

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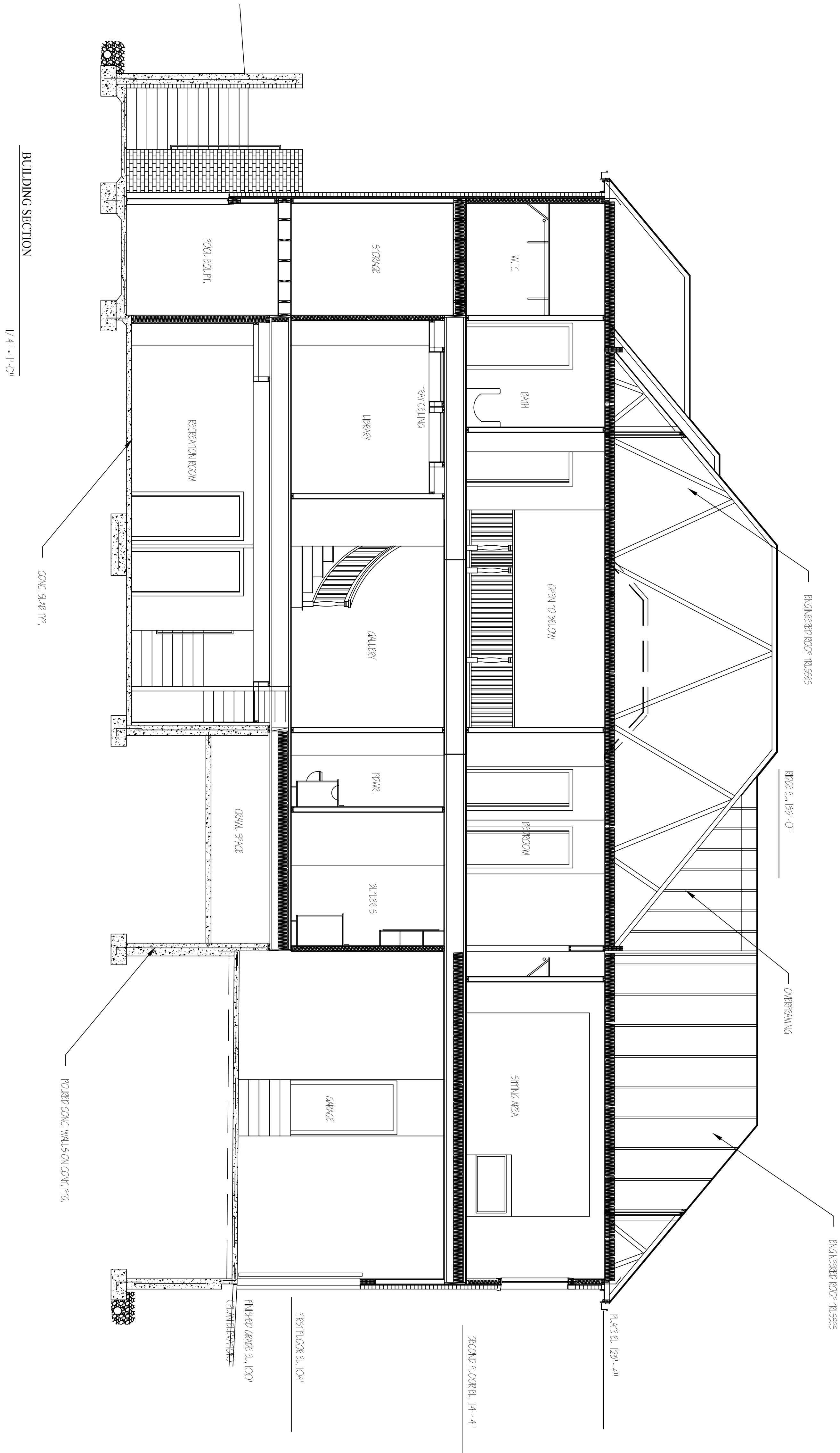


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3233 FOX MILL ROAD
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OAKTON, VIRGINIA

BUILDING SECTION

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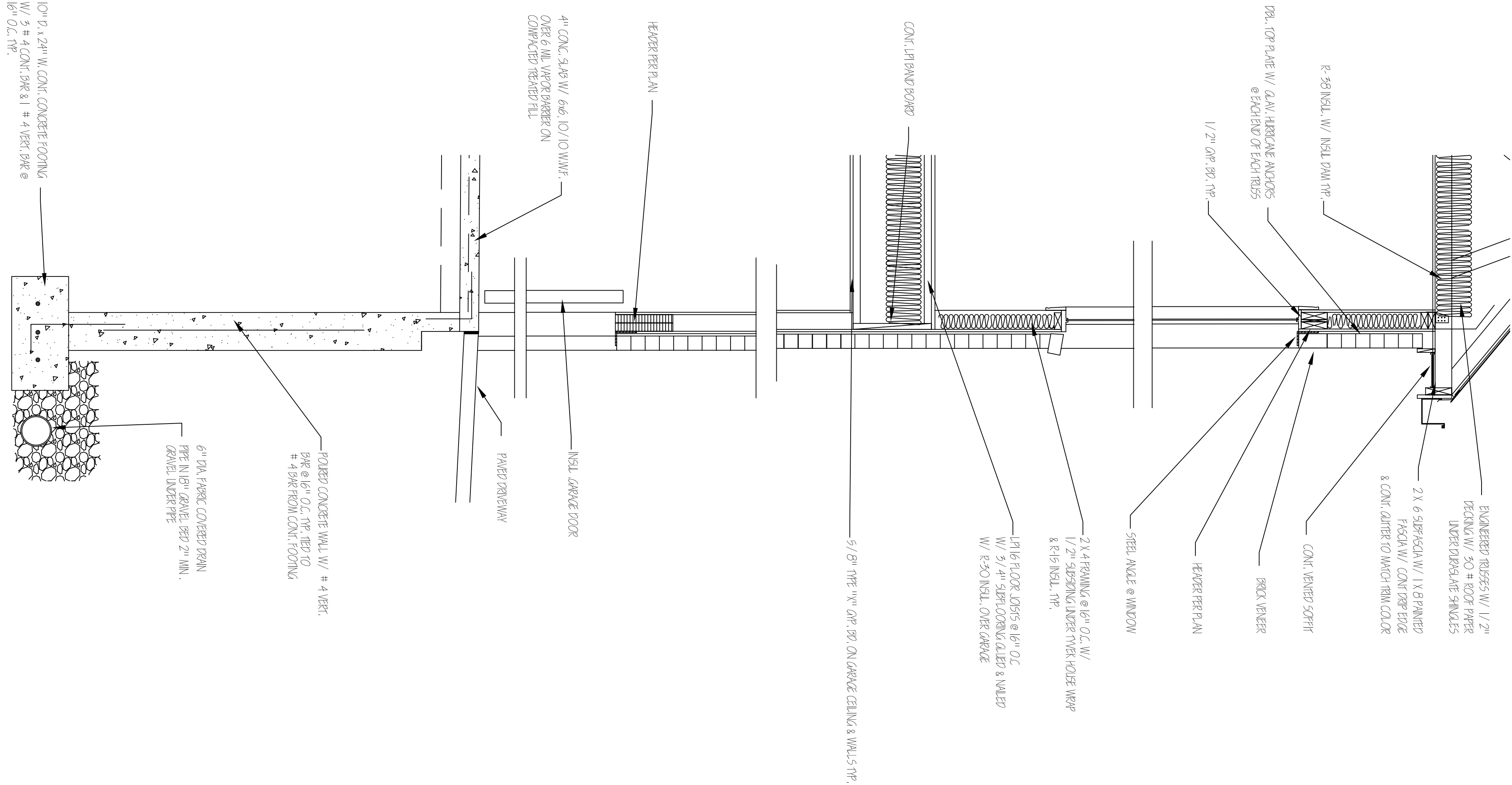


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3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINIA

BUILDING SECTION

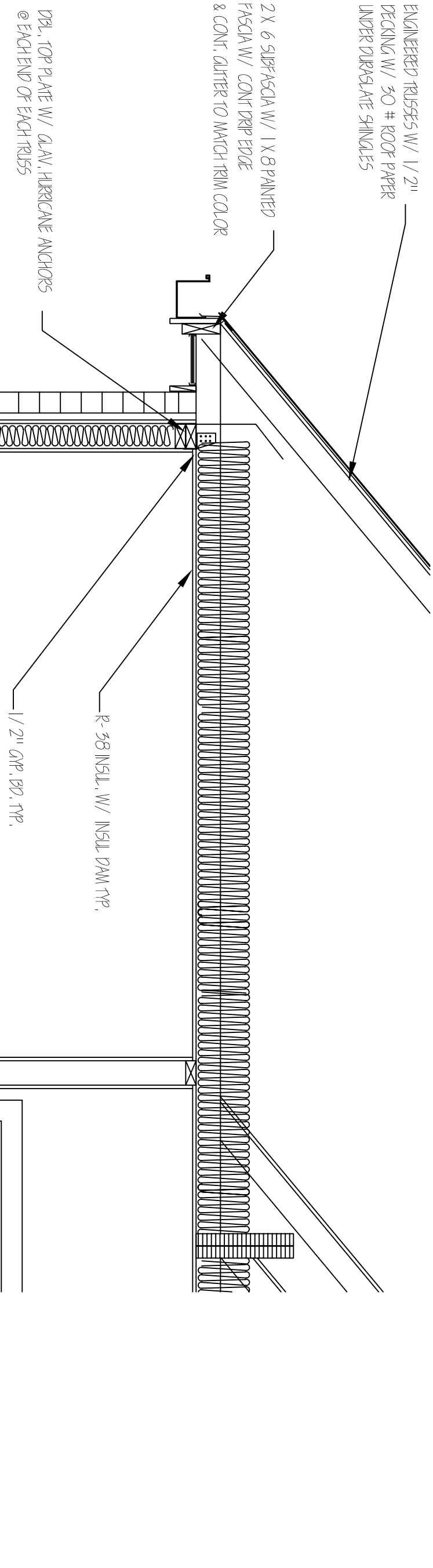
3/28/05

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WALL SECTION @ GARAGE

5/4\"/>



WALL SECTION @ PATIO

5/4\"/>

WALL SECTIONS

JEFFERSONIAN COLONIAL
3233 FOX MILL ROAD
LOT # 2 FOXVALE
OAKTON, VIRGINA

1.01	GENERAL
	The work shall comply with all applicable local and state code, ordinances, regulations, and standards. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing.
1.02	CONSTRUCTION METHODS AND TECHNIQUES
	The contractor shall be responsible for construction methods, techniques, and materials. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing.
1.03	FIELD CONDITIONS AND DIMENSIONS
	Observe variations of the dimensions and conditions shall be the responsibility of the contractor. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing.
1.04	TYPICAL CONDITIONS
	The general notes and typical details apply throughout the job unless indicated otherwise. Where conditions are specifically shown or detailed, the character and quality of the work shall be as shown on the drawings or in the notes. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing.
1.05	DRAINAGE COORDINATION
	The contractor shall coordinate and construct all drainage between the different contractors and trades and shall promptly notify the architect of any discrepancies which may be found.
1.06	STRUCTURAL NOTES
	In case of any discrepancies between these notes and those provided by the structural engineer, the structural engineer shall prevail.
1.07	TEMPORARY BRACING
	Use temporary bracing as required to stabilize foundation basement walls and independent until permanent construction is in place.
1.08	LIVE LOADS
	All flooring materials shall be installed in accordance with the following loads: <div> <div> <div> <div> <div>Basement floors</div> <div>30 psf</div> </div> <div> <div>Basement floors</div> <div>30 psf</div> </div> </div> <div> <div>Basement floors</div> <div>30 psf</div> </div> <div> <div>Basement floors</div> <div>30 psf</div> </div> </div> </div>

2.05	INSPECTIONS
	For 100% final check to satisfaction of jobs.
2.06	SOIL INVESTIGATION AND REPORT
	All existing conditions and foundation work shall be done in accordance with the soil investigation report. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing.
2.07	DRAINAGE OF FOOTING
	Provide drainage for all footings. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing.
2.08	DAMP/PROOFING FOR CONCRETE AND MASONRY FOUNDATIONS
	Exterior foundation walls of masonry construction including basement walls shall be waterproofed. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing. The contractor shall be responsible for obtaining all necessary permits and for obtaining all necessary approvals from the local building official or in instances with these documents, inform the building official for processing.
3.01	CONCRETE
	Concrete shall meet minimum compressive strength of (f') as noted below: <div> <div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> </div> </div>

4.01	MASONRY
	Concrete shall meet minimum compressive strength of (f') as noted below: <div> <div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> </div> </div>

5.01	FOUNDATIONS
	Foundations shall be constructed in accordance with the following specifications: <div> <div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> </div> </div>

6.01	ROOFING
	Roofing shall be installed in accordance with the following specifications: <div> <div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> </div> </div>

7.01	MECHANICAL
	Mechanical systems shall be installed in accordance with the following specifications: <div> <div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> <div> <div>3000 psi</div> <div>3000 psi</div> </div> </div> </div>

