

# BOTERO HOMES GALLERY JEFFERSONIAN COLONIAL

JEFFERSONIAN COLONIAL  
3233 FOX MILL ROAD  
LOT # 2 FOXVALE  
OAKTON, VIRGINIA

## BUILDING CODE DATA

**PROJECT LOCATION:** FAIRFAX COUNTY VIRGINIA  
**USE GROUP:** R-4 RESIDENTIAL  
**CODE OF JURISDICTION:** 2000 IRC, 2000 VUBC  
**TYPE OF CONSTRUCTION:** 5 B UNPROTECTED

**LIVING AREA:**  
 FIRST FLOOR: 2397 S.F.  
 SECOND FLOOR: 3231 S.F.  
 GROUND FLOOR: 1439 S.F.  
 TOTAL: 7067 S.F.

**UNFINISHED GROUND FLOOR:** 312 S.F.  
**GARAGE:** 961 S.F.  
**COVERED FRONT PORCH:** 86 S.F.

**OWNER NOTES:**  
 THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REVIEW THE CONSTRUCTION DRAWINGS PRIOR TO BEGINNING ANY CONSTRUCTION OR ORDERING MATERIALS.  
 ANY CHANGE OR ALTERATIONS TO THE APPROVED DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO REVISING THE DRAWINGS.  
 THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATING THE ARCHITECTURAL DRAWINGS WITH THE MECHANICAL, PLUMBING & ELECTRICAL CONTRACTORS.

11. Design loads, psf	Area	Dead Load	Live Load
	Dwelling unit		
	Sleeping rooms		
	Roof		
	Wind		
	Notes		

12. Components and cladding meet required loads  
 Yes  No

13. Landings at exterior doors:  
 Per 2000 IRC/IBC, 1.5 inches  
 Per 2000 IRC/IBC, 7.75 inches\*  
 \*Showing this option designates a code modification request to be reviewed by the local building department.  
 14. Are there building related development conditions (i.e. pot holes, special exceptions, special permits, variances)?  
 Yes  No  
 If yes, complete below -one referenced page in which related details/notes can be found in the construction documents:  
 Affordable dwelling units (ADU), page \_\_\_\_\_  
 ADU's comply with Housing & Community Development Specifications?  Yes  No  
 Sound transmission class rating, page \_\_\_\_\_  
 Other: \_\_\_\_\_ page: \_\_\_\_\_  
 Other: \_\_\_\_\_ page: \_\_\_\_\_  
 Other: \_\_\_\_\_ page: \_\_\_\_\_

15. Exterior Insulation and Finish Systems (EIFS)  
 Yes  No  
 If yes, evaluation report number: \_\_\_\_\_  
 16. Utility company easements on this site:  
 Yes  No  
 17. Wall bracing, show method: R602.10  
 Braced panels per Table R602.10.1  
 Method Number: \_\_\_\_\_ R602.10.3  
 Continuous panels constructed in accordance with Table 602.10.5 (must be method 3)  
 Alternate braced walls, R602.10.6  
 Other method: \_\_\_\_\_  
 (provide evaluation report for manufactured products)  
 18. Steel columns:  
 AISC standard pipe, ASTM A501, A53  
 ICC approved (provide evaluation report)  
 Not applicable

19. Pre-manufactured floor and/or roof trusses:  
 (this does not include TJI, GPL, LP, etc.)  
 Yes  No  
 If yes, these sets of shop drawings, signed and sealed by the truss designer, must be submitted prior to erection. A completed TRUSS PLAN COVER SHEET must be attached to each sheet.  
 20. Masterfile plan  Yes  No  
 Model name: \_\_\_\_\_  
 Submission plan number: \_\_\_\_\_  
 21. Job location (note address and / or subdivision)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 22. Name, address, occupation of designer. If designed by a licensed professional registered in the Commonwealth of Virginia, provide designer's seal in the space provided below.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 23. As the designer of this structure, I have reviewed the building related development conditions (if any) of the associated subdivision or grading plan, and certify that the information on this sheet is correct.  
 signature \_\_\_\_\_ date \_\_\_\_\_

COUNTY OF FAIRFAX, VIRGINIA  
 BUILDING PLAN REVIEW DIVISION  
 LAND DEVELOPMENT SERVICES, DPW/S  
 PLANNING AND ZONING DIVISION  
 SUBJECT TO CORRECTION NOTES ON PLANS AND ISSUANCE OF PERMIT.  
 WORK IN ACCORDANCE WITH ADOPTED CODES.  
 INSURANCE OF PERMIT DOES NOT PRECLUDE FIELD INSPECTORS FROM ORDERING CORRECTIONS TO THE PLANS.  
 NO INSPECTION SHALL BE MADE UNLESS AN APPROVED SET OF PLANS IS ON THE JOB SITE. NO CHANGES SHALL BE MADE TO THE APPROVED PLANS WITHOUT PRIOR APPROVAL OF THIS BUILDING PLAN REVIEW DIVISION.  
 CALL MISS UTILITY AT 1-800-527-7001 BEFORE YOU DIG.  
 These drawings were not reviewed for compliance relative to electrical, mechanical, or plumbing elements. Compliance will be evaluated during inspection by field staff.  
 See FAIRFAX COUNTY TYPICAL DECK DETAILS for the following requirements:  
 Ledger attachment  Footing size  
 Post-beam connections  Sills  
 Post footing connections  Guardrail handrail  
 APPROVAL:  
 Reviewers initial: \_\_\_\_\_ Date: \_\_\_\_\_  
 Plan Number: \_\_\_\_\_

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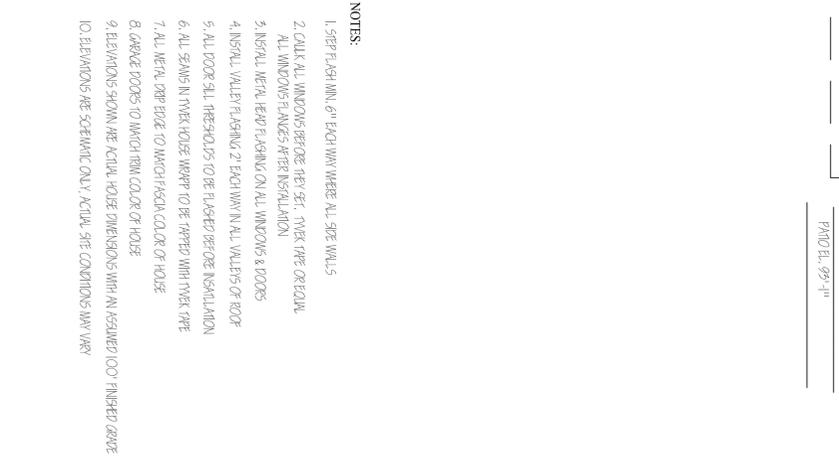
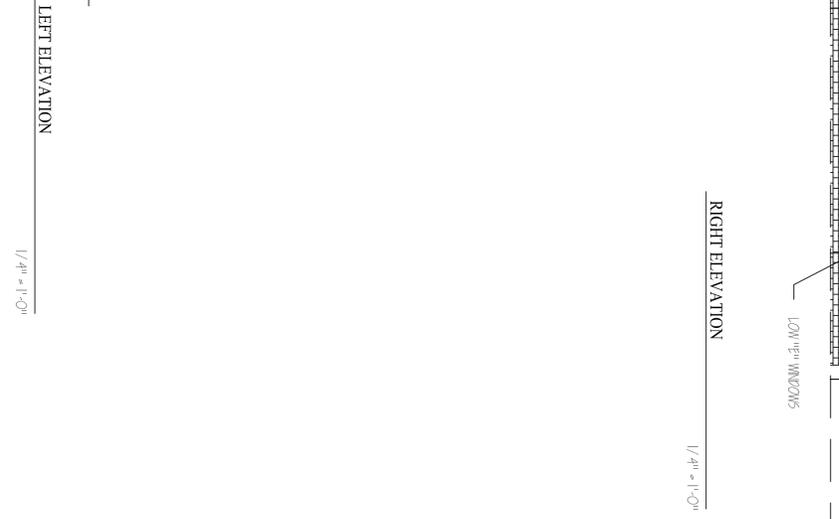
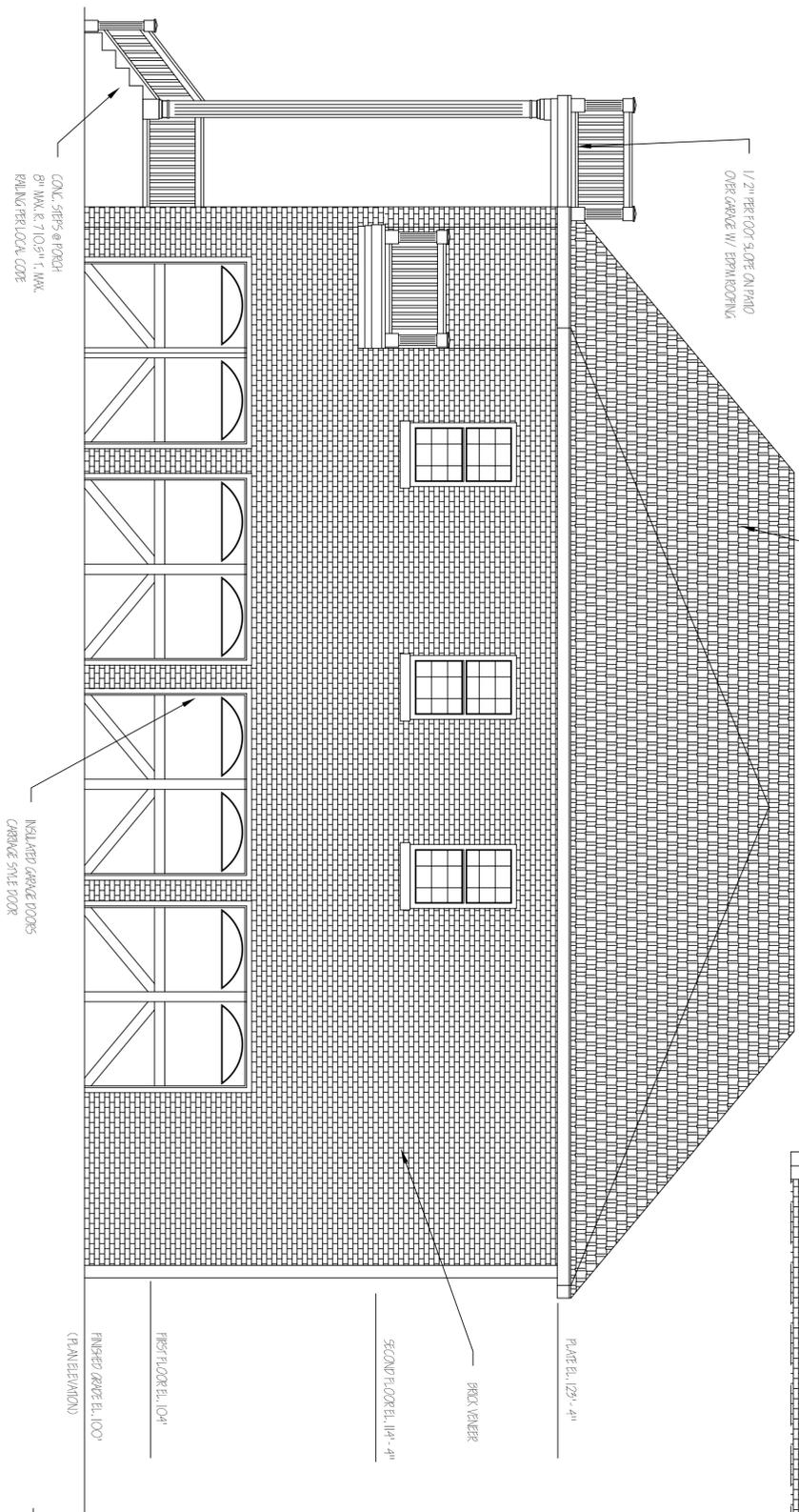


- NOTES:
1. SEEP FLASHING 6" EACH WAY WHERE ALL SIZE WALLS
  2. CALL ALL WINDOWS BEFORE REV SET. OVER TYPE OR EQUAL ALL WINDOWS FINISHES AFTER INSTALLATION
  3. INSTALL METAL HEAD FLASHING ON ALL WINDOWS & DOORS
  4. INSTALL VALLEY FLASHING 2" EACH WAY IN ALL VALLEYS OF ROOF
  5. ALL DOOR SILL THRESHOLDS TO BE PLACED BEFORE INSTALLATION
  6. ALL SEAMS IN OVER HOLES W/REPP TO BE TAPPED WITH OVER TYPE
  7. ALL METAL ROOF EDGE TO MATCH FASH. COLOR OF HOUSE
  8. GARAGE DOORS TO MATCH TRIM COLOR OF HOUSE
  9. ELEVATIONS SHOWN ARE ACTUAL HOUSE DIMENSIONS WITH ASSUMED 100" FINISHED GARAGE
  10. ELEVATIONS ARE SCHEMATIC ONLY. ACTUAL SET CONDITIONS MAY VARY

JEFFERSONIAN COLONIAL  
 3233 FOX MILL ROAD  
 LOT # 2 FOXVALE  
 OAKTON, VIRGINIA

EXTERIOR ELEVATIONS

3.28.05 DM



**NOTES:**

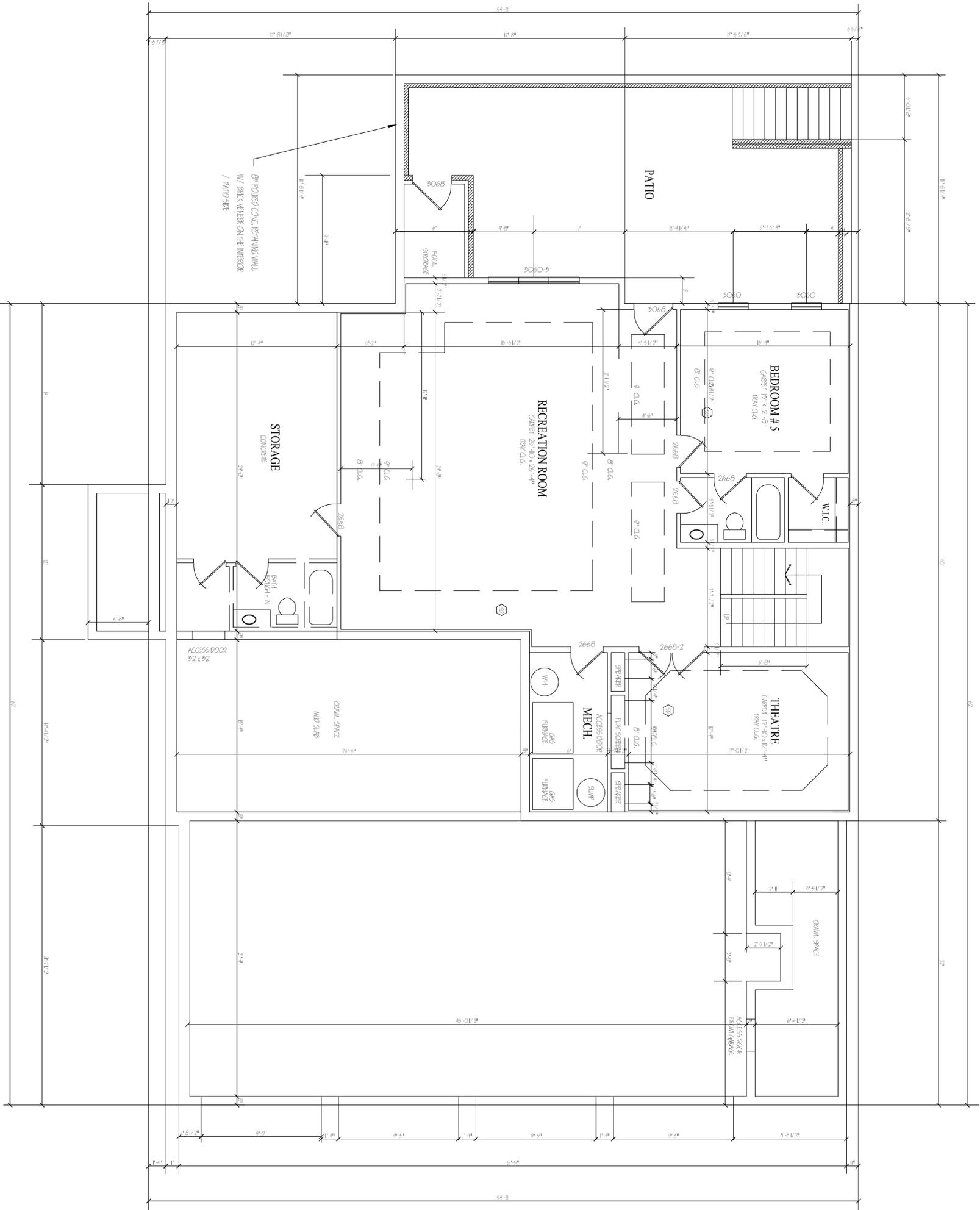
1. STEEP FLASHING @ EACH WALL WHERE ALL SIDE WALLS
2. CALL ALL WINDOWS BEFORE REVEAL. TRICK TYPE OR EQUAL
3. ALL WINDOWS FINISHES AFTER INSTALLATION
4. INSTALL METAL HEAD FLASHING ON ALL WINDOWS & DOORS
5. INSTALL VALLEY FLASHING 2' EACH WAY IN ALL VALLEYS OF ROOF
6. ALL ROOF SILL FLASHINGS TO BE PLACED BEFORE INSTALLATION
7. ALL SEAMS IN TRICK HOLES WEEP TO BE TRAPPED WITH TRICK TYPE
8. GARAGE DOORS TO MATCH TRIM COLOR OF HOUSE
9. ELEVATIONS SHOWN ARE ACTUAL HOLES DIMENSIONS WITH ASSUMED 100% FINISHED GARAGE
10. ELEVATIONS ARE SCHEMATIC ONLY. ACTUAL SITE CONDITIONS MAY VARY

**JEFFERSONIAN COLONIAL**  
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EXTERIOR ELEVATIONS

3/28/05

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BASEMENT PLAN

1/4" = 1'-0"

NOTES:

- 1. DESIGNED PER UBC 2000 AND SHALL BE CONSTRUCTED ACCORDINGLY
- 2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION

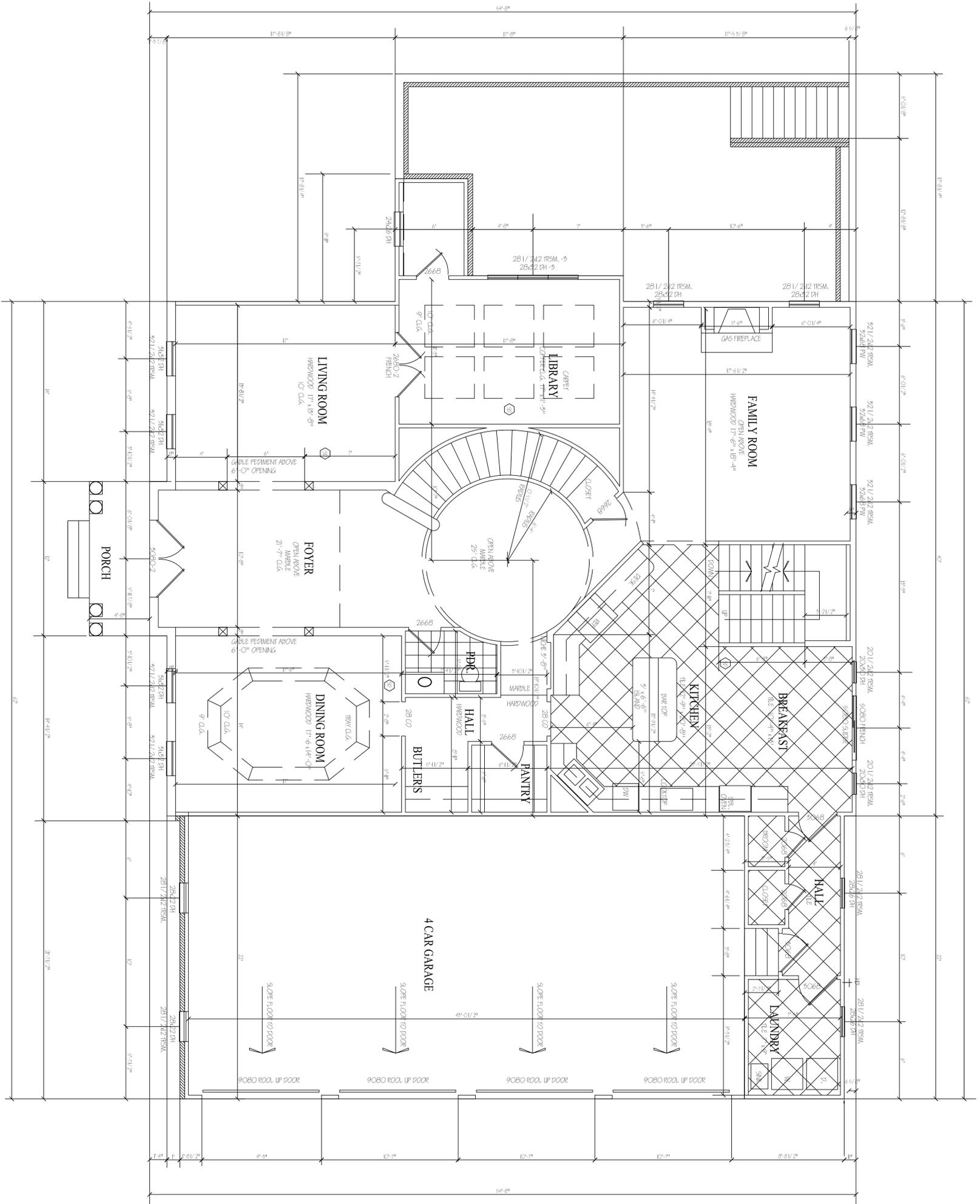
BASEMENT FLOOR PLAN

JEFFERSONIAN COLONIAL  
 3233 FOX MILL ROAD  
 LOT # 2 FOXVALE  
 OAKTON, VIRGINIA

3/28/05

DM

A1-1



FIRST FLOOR PLAN

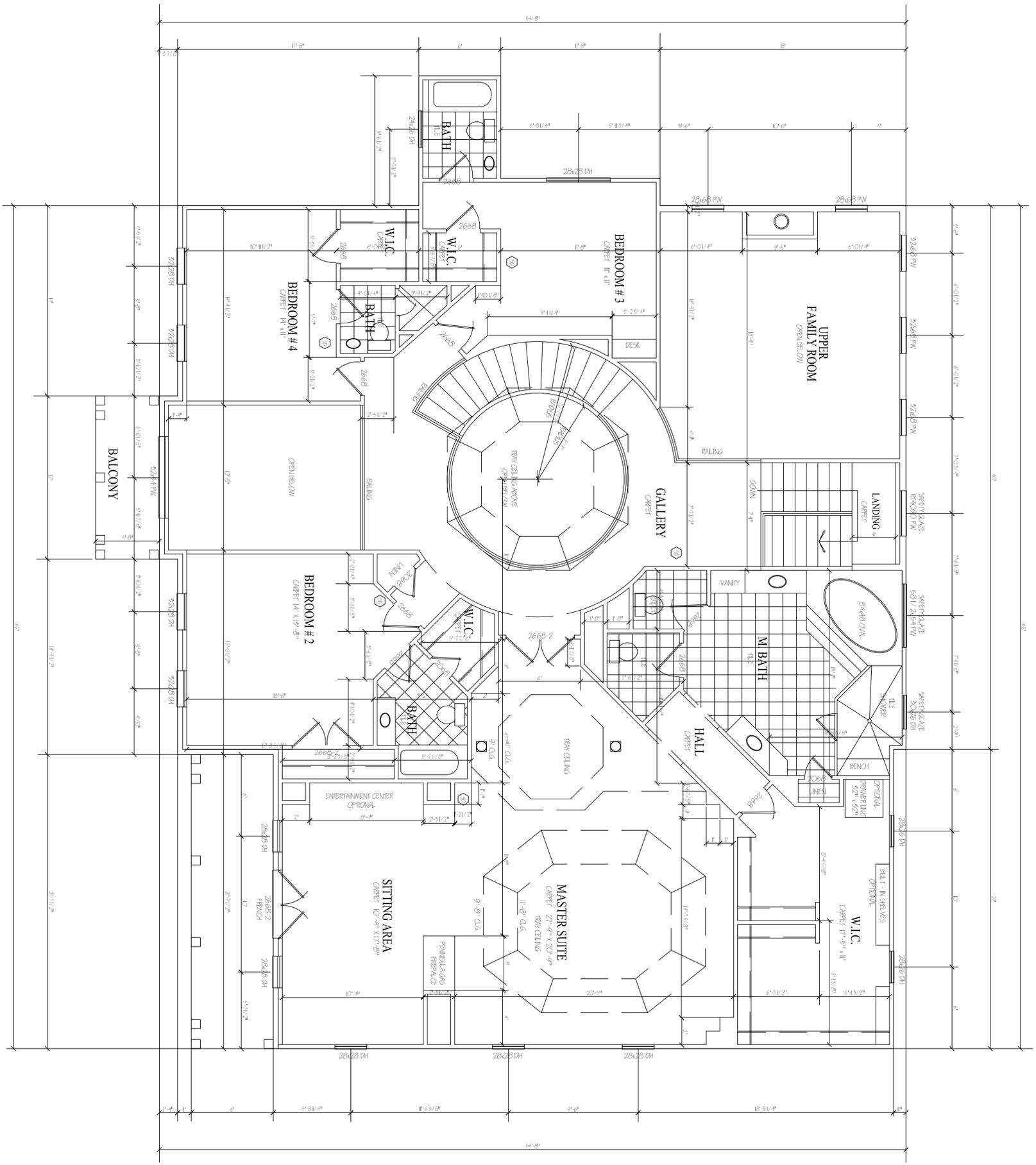
1/4" = 1'-0"

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FIRST FLOOR PLAN

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SECOND FLOOR PLAN

1/4" = 1'-0"

NOTES:

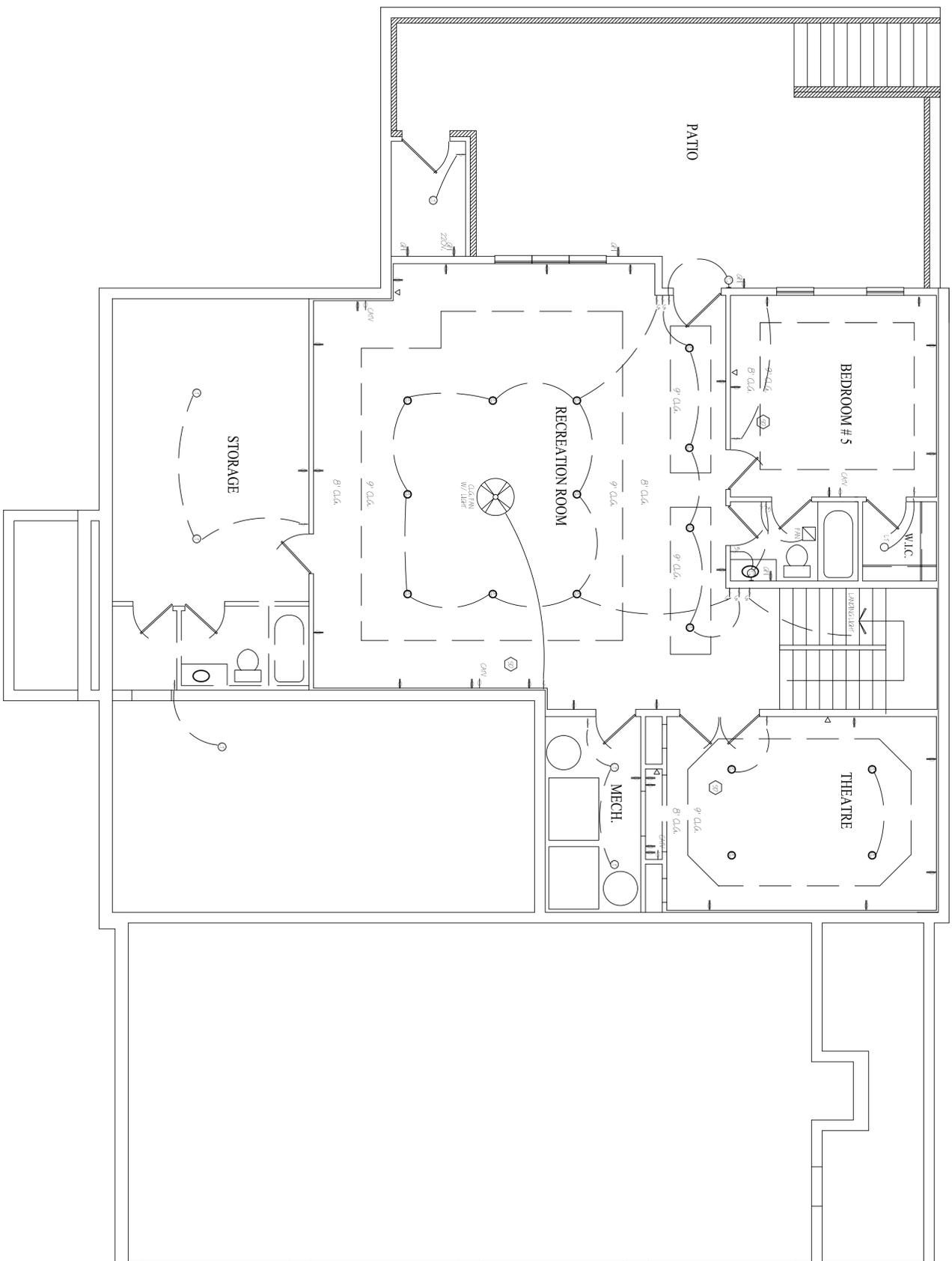
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JEFFERSONIAN COLONIAL  
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SECOND FLOOR PLAN

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- Ⓢ SMOKE DETECTOR
- ▽ PHONE JACK
- 3 3-WAY SWITCH
- ⚡ SWITCH
- CAV. CABLE OUTLET
- GF I OUTLET GROUND FAULT INTERRUPTOR
- 220V WATER PROOF OUTLET
- 220V 220 VOLT OUTLET
- ⊙ RECESSED LIGHT
- ⊙ WALL MOUNTED LIGHT
- ⊙ CEILING MOUNTED LIGHT
- ⊙ CEILING MOUNTED FAN W/LIGHT
- ⊏ FLUORESCENT LIGHT

BASEMENT ELECTRICAL PLAN

1/4" = 1'-0"

JEFFERSONIAN COLONIAL  
 3233 FOX MILL ROAD  
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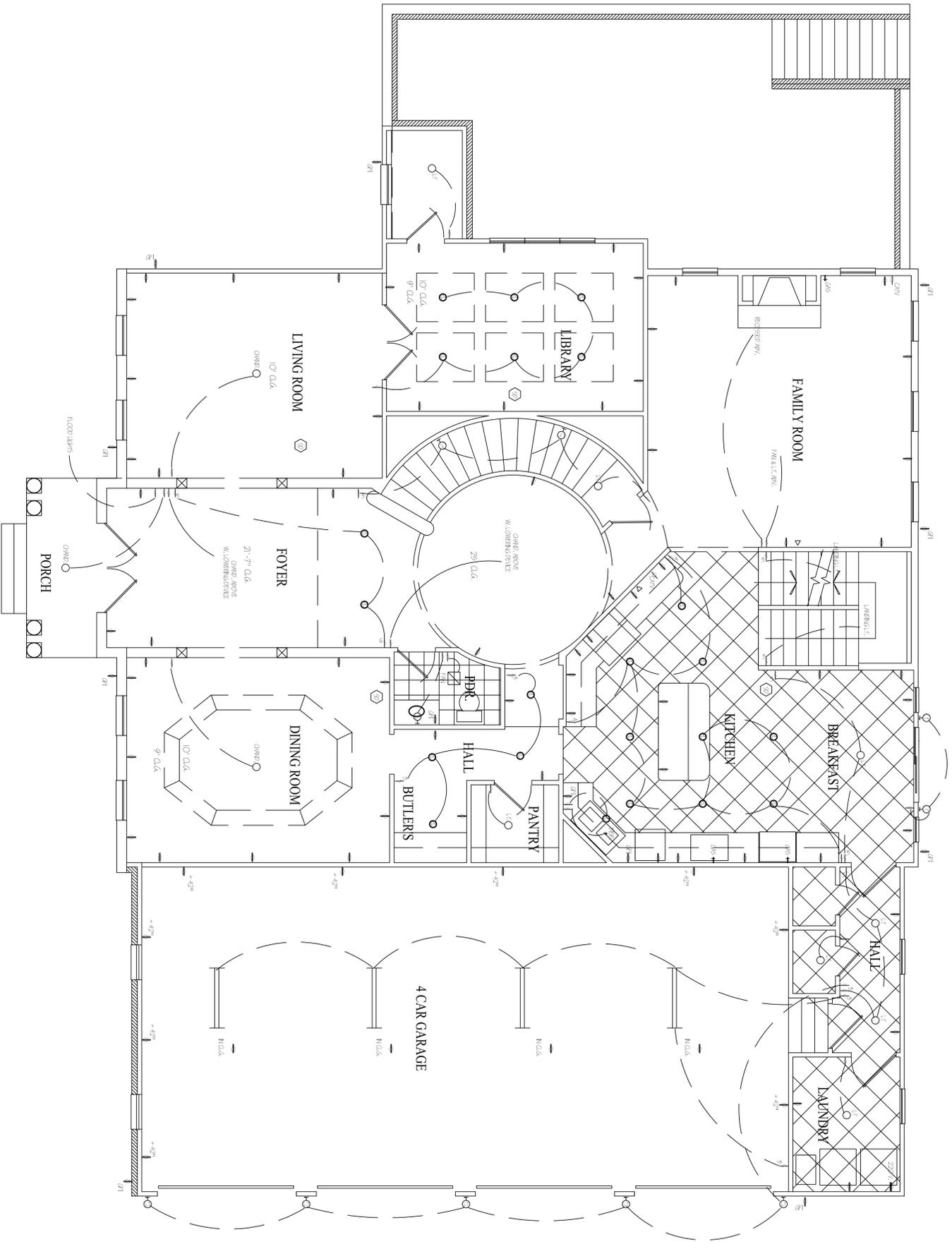
BASEMENT ELECTRICAL PLAN

3/28/05

DM

NOTES:

DESIGNED PER UBC 2000 AND SHALL BE CONSTRUCTED ACCORDINGLY  
 CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND MAKE ANY  
 PROJECT CORRECTIONS



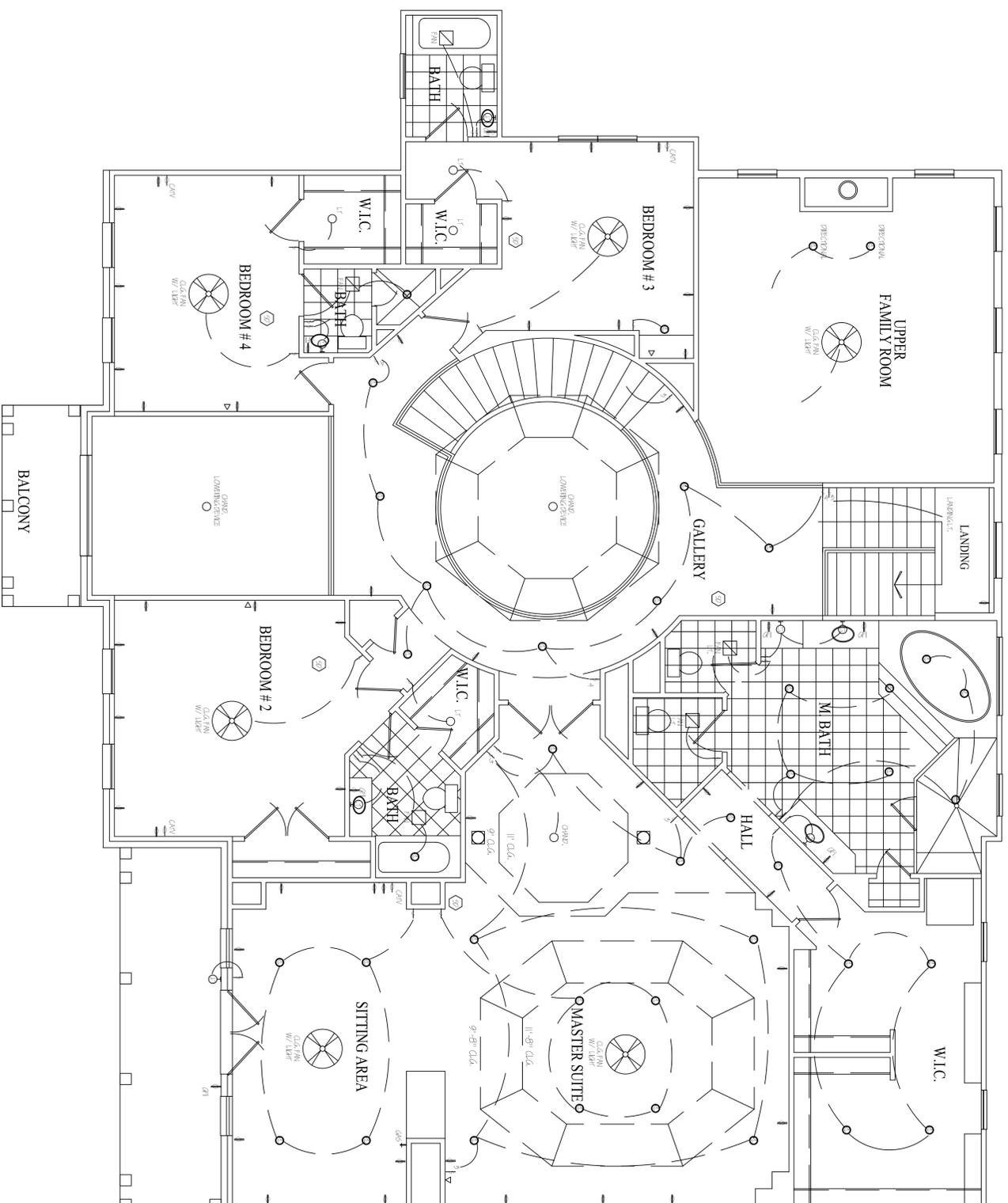
- Ⓢ SMOKE DETECTOR
- ▽ PHONE JACK
- Ⓝ 3 WAY SWITCH
- Ⓢ SWITCH
- CABLE OUTLET
- Ⓜ OUTLET GROUND FAULT INTERCEPTOR
- Ⓜ WATER PROOF OUTLET
- 220V 220 VOLT OUTLET
- RECESSED LIGHT
- WALL MOUNTED LIGHT
- CEILING MOUNTED LIGHT
- ⊗ CEILING MOUNTED FAN W/LIGHT
- ⊏ FLUORESCENT LIGHT

FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

NOTES:  
DESIGNED PER UBC 2000 AND SHALL BE CONSTRUCTED ACCORDINGLY  
CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIRECTIONS  
PRIOR TO CONSTRUCTION

JEFFERSONIAN COLONIAL  
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ELECTRICAL PLAN



- Ⓢ SMOKE DETECTOR
- ▽ PHONE JACK
- Ⓝ 3 WAY SWITCH
- Ⓢ SWITCH
- CABLE OUTLET
- OUTLET GROUND FAULT INTERCEPTOR
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SECOND FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

NOTES:

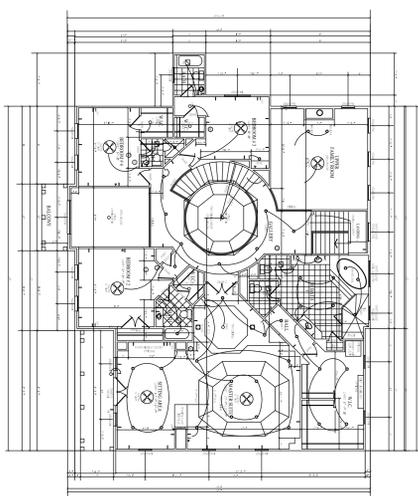
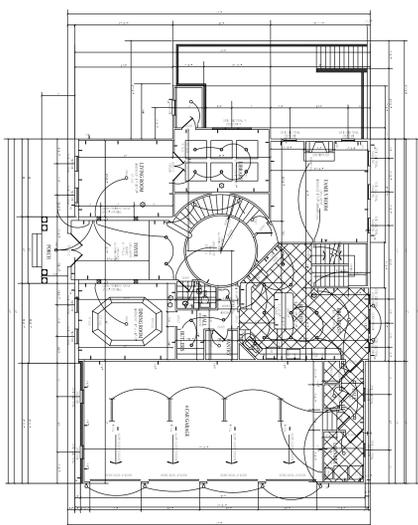
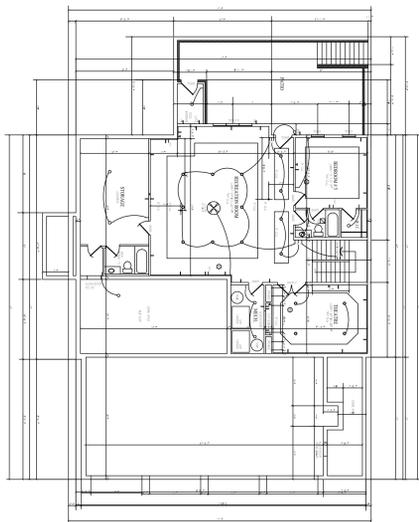
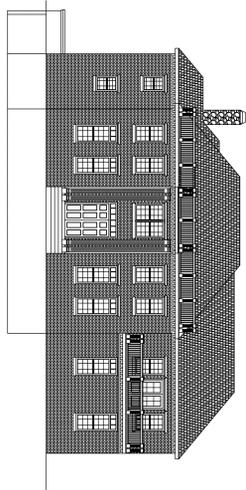
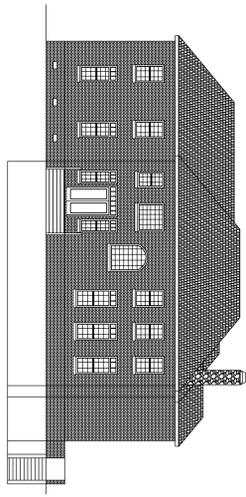
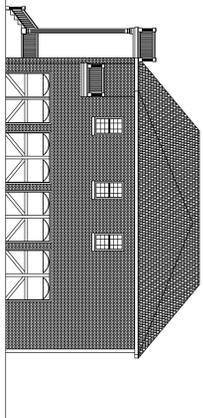
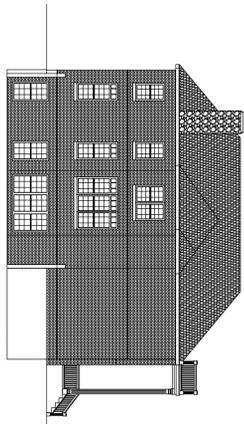
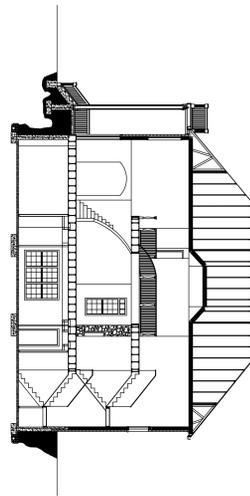
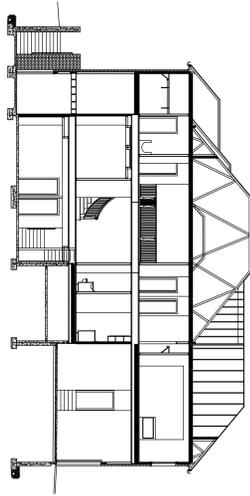
DESIGNED PER UBC 2000 AND SHALL BE CONSTRUCTED ACCORDINGLY  
 CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS  
 PRIOR TO CONSTRUCTION

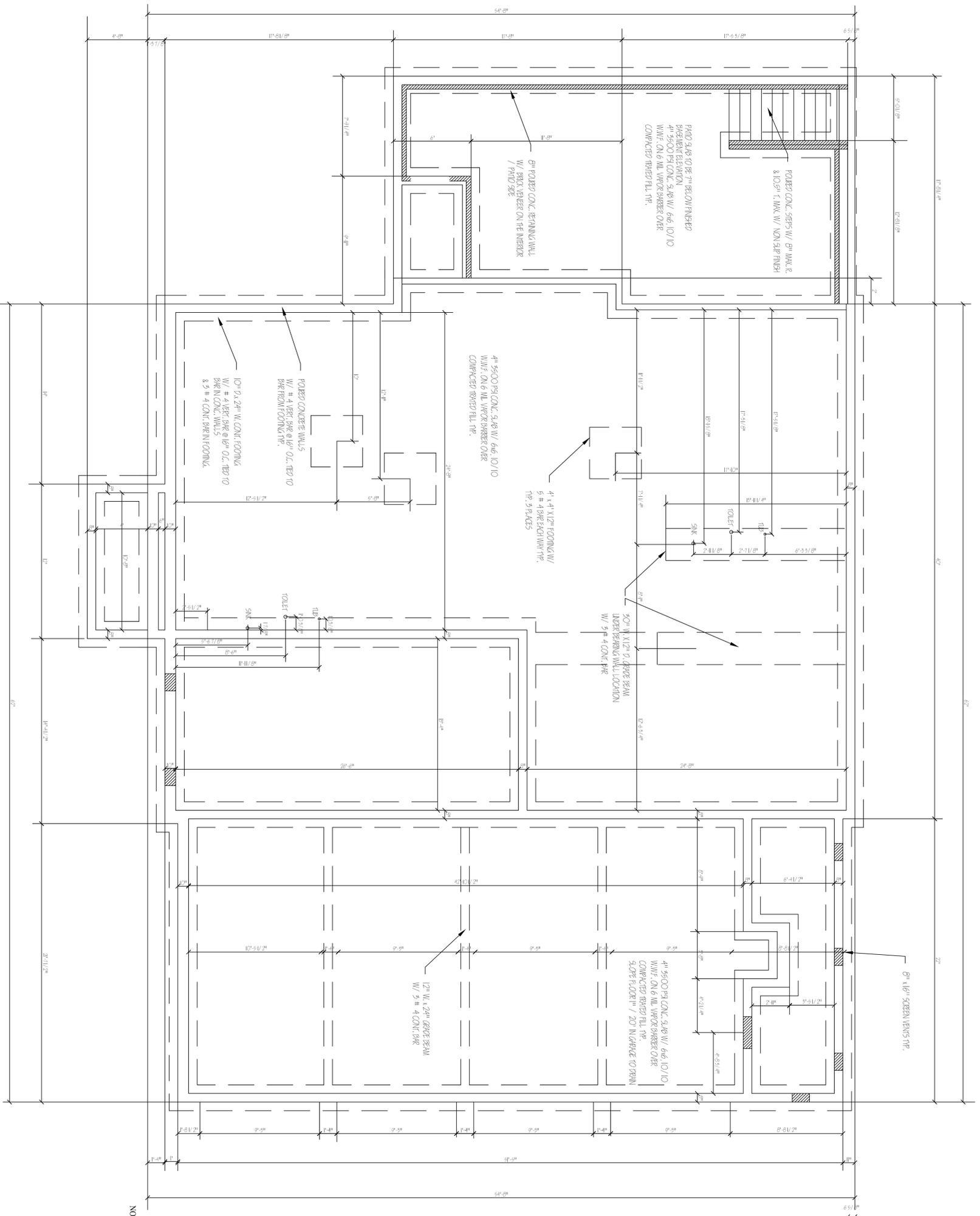
JEFFERSONIAN COLONIAL  
 3233 FOX MILL ROAD  
 LOT # 2 FOXVALE  
 OAKTON, VIRGINIA

ELECTRICAL PLAN

3/28/05

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FOUNDATION PLAN  
W/ UNDERGROUND PLUMBING 1/4" = 1'-0"

NOTES:

1. THE DESIGN OF THE FOUNDATIONS BASED UPON AN ASSUMED 2000 PSF SOIL BEARING CAPACITY. SHOULD ANY QUESTIONABLE SOIL CONDITIONS BE ENCOUNTERED OWNER MUST BE REQUIRED TO HAVE SOIL TESTED BY A LICENSED ENGINEER.
2. ALL TOP SOIL PIPES AND ORGANIC MATTER SHALL BE REMOVED PRIOR TO POURING OF THE CONCRETE FOOTINGS. ALL SOIL TO BE PLACED IN THE FOOTINGS MUST BE PROPERLY RAMPED DOWN A MECHANICAL TAPER. THE NUMBER OF BLOCK COPIES MUST BE FOLDED AND THE FOOTINGS MAY BE SET INTO TO SHIP THE CONDITIONS.
3. ALL CONCRETE USED FOR FOOTINGS AND SOLE CORDS SHALL HAVE A MINIMUM (28D) PSI COMPRESSIVE STRENGTH OF 3500 PSI.
4. ALL REINFORCING STEEL TO BE GRADE 40 OR BETTER.
5. ALL FOOTINGS MUST BE A MINIMUM OF 24" BELOW GRADE.
6. ALL 3/4" DIA. REBAR SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
7. FOUNDATION DETAILS TO BE LOCATED HEREIN OR FINISHED GRADE OR CONCRETE GRADE TO BE AS NOTED IN PLAN.
8. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE ACI STANDARDS.

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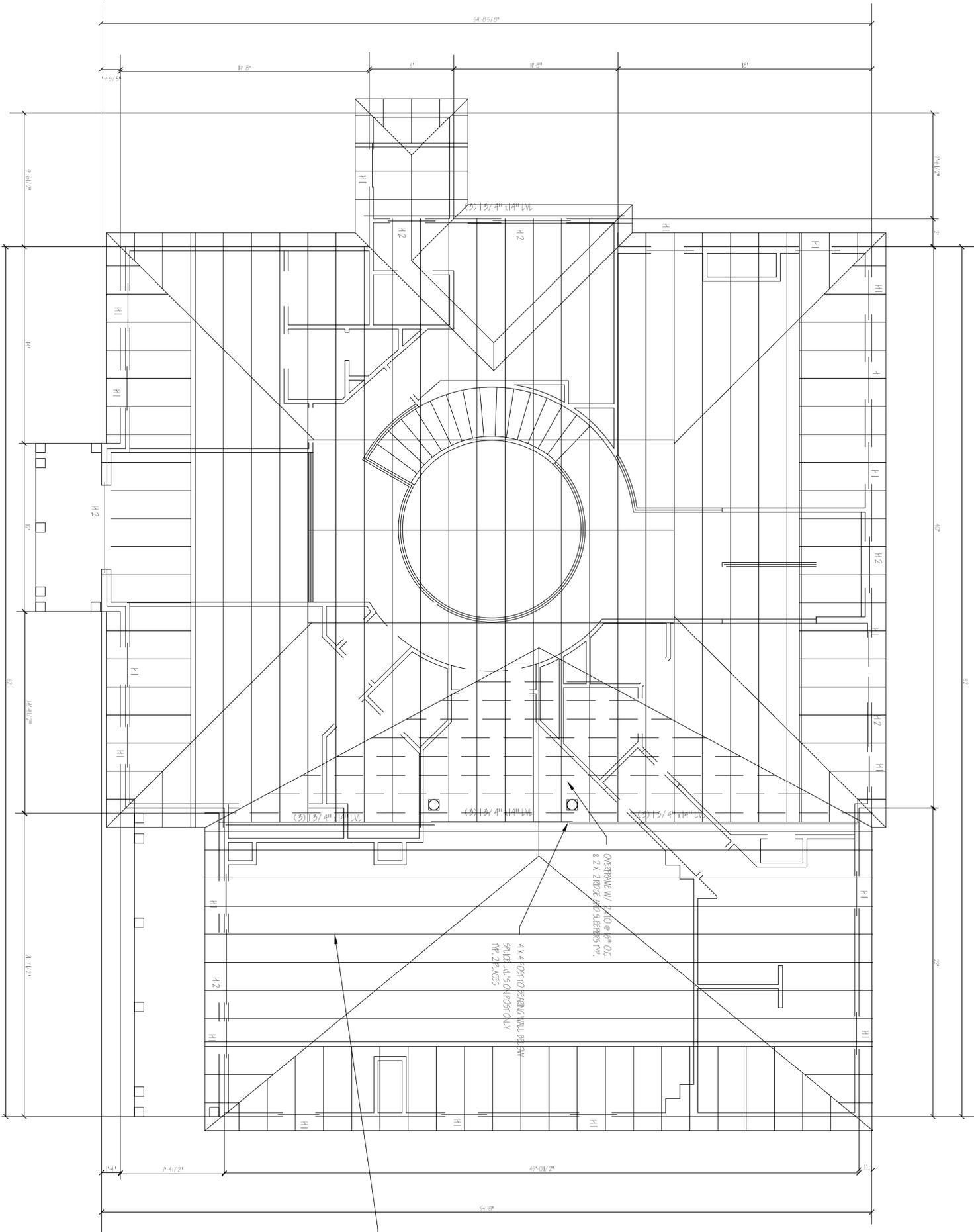
FOUNDATION PLAN

3/28/05 DM

S1-1







ROOF FRAMING PLAN

1/4" = 1'-0"

- NOTES:
1. ALL ROOF RAFTERS & WOOD BEAMS TO BE INSULATED PER MANUFACTURER'S LAYOUT
  2. ALL STRUCTURAL MEMBERS TO BE # 2 S.P.F. OR BETTER
  3. ENGINEERED ROOF DRAWINGS TO BE SUBMITTED TO COUNTY FOR INSTALLATION

HEADERS

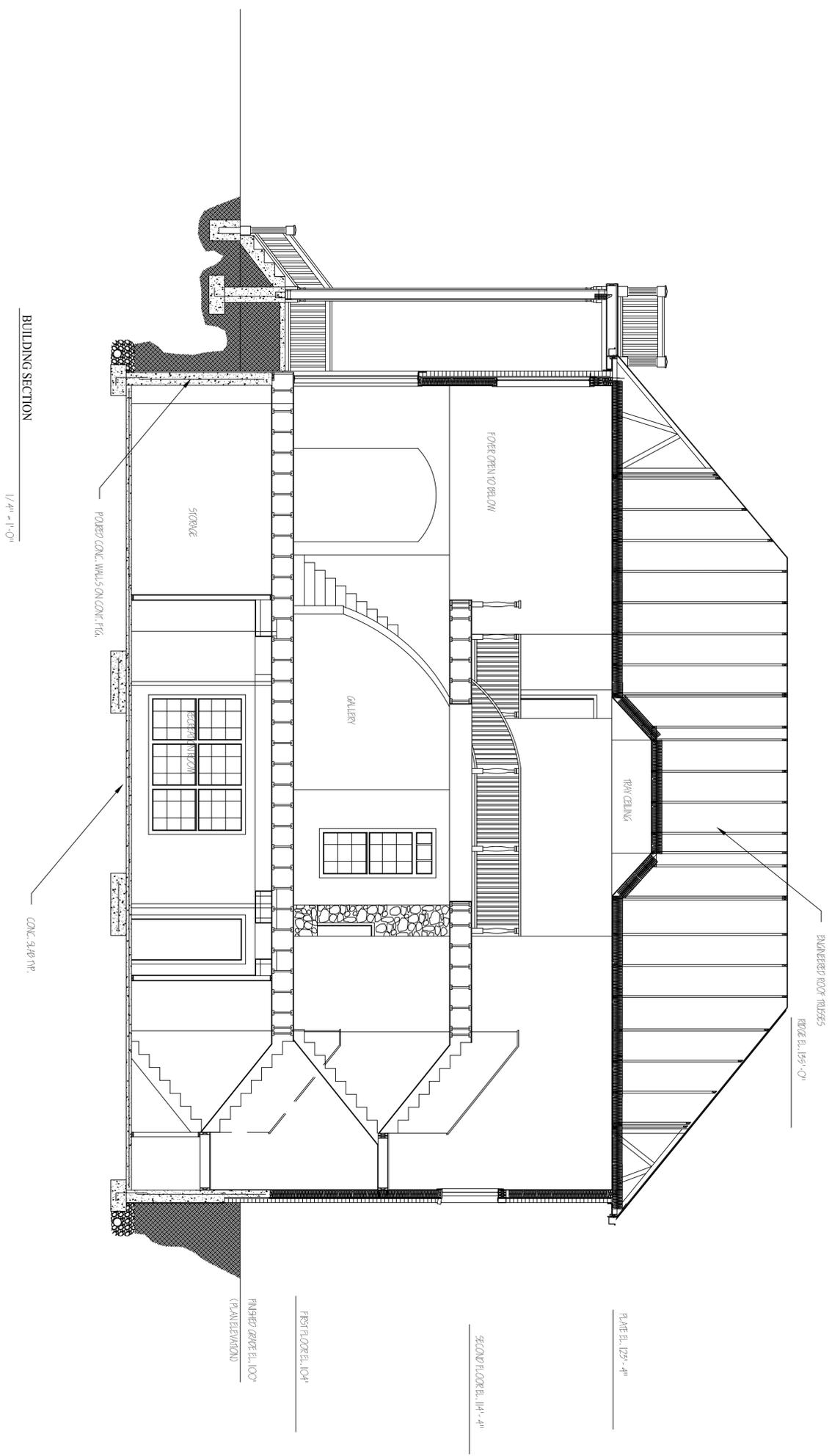
H1	DBL. 2X8 W/ 1/2" WD. SPACER
H2	DBL. 2X10 W/ 1/2" WD. SPACER
H3	TRIPLE 2X12 W/ 1/2" WD. SPACER
H4	DBL. 1 1/2" X 9 1/2" LVL

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ROOF FRAMING PLAN

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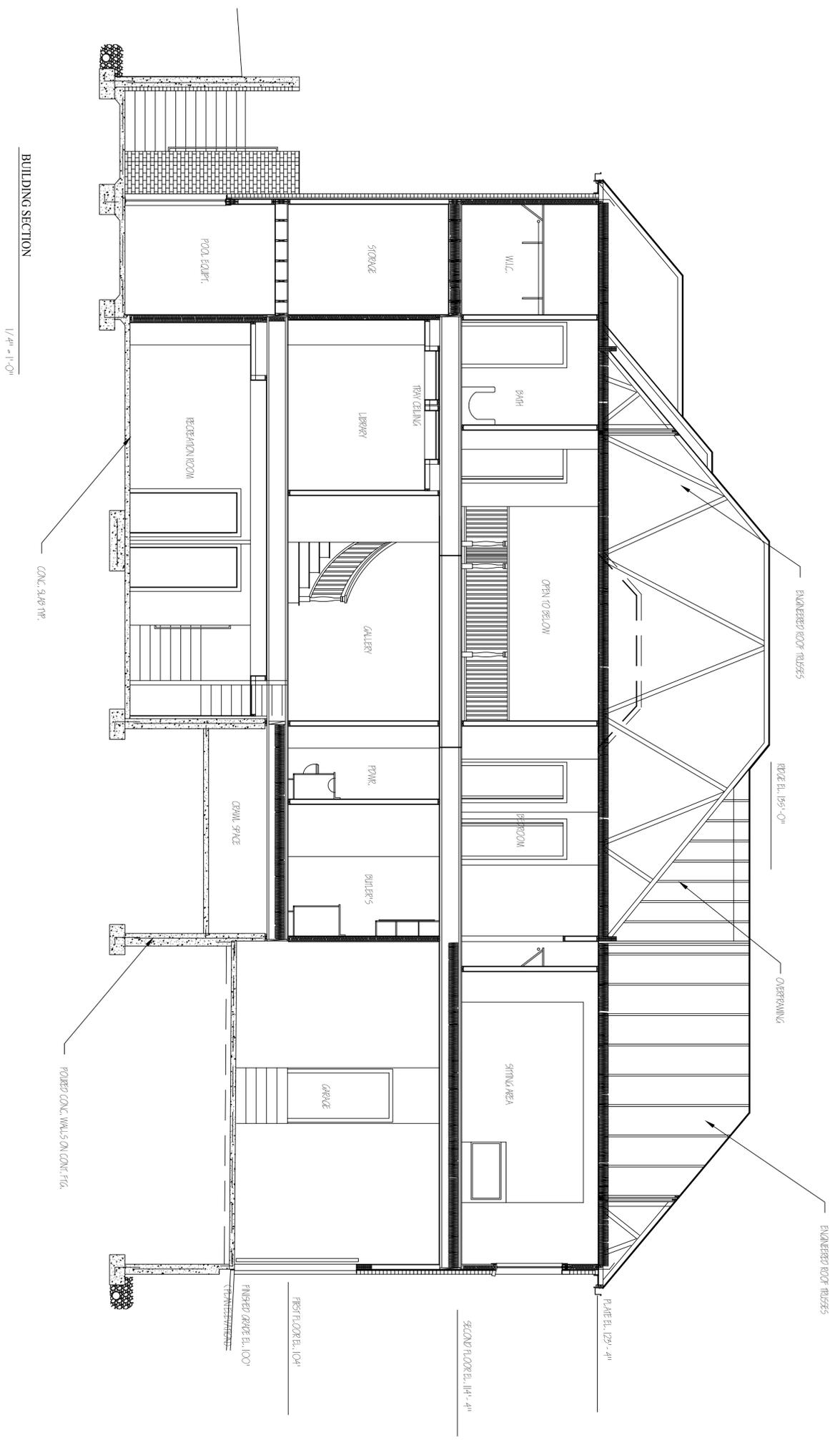
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JEFFERSONIAN COLONIAL  
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BUILDING SECTION

3/28/05 DM



BUILDING SECTION

1/4" = 1'-0"

CONC. 9.40 TP

POURED CONC. WALLS ON CONC. FGA

ENGINEERED ROOF RIBS

ROOF EL. 159'-0"

OVERHANGING

ENGINEERED ROOF RIBS

PLATE EL. 129'-4"

SECOND FLOOR EL. 114'-4"

FIRST FLOOR EL. 104'

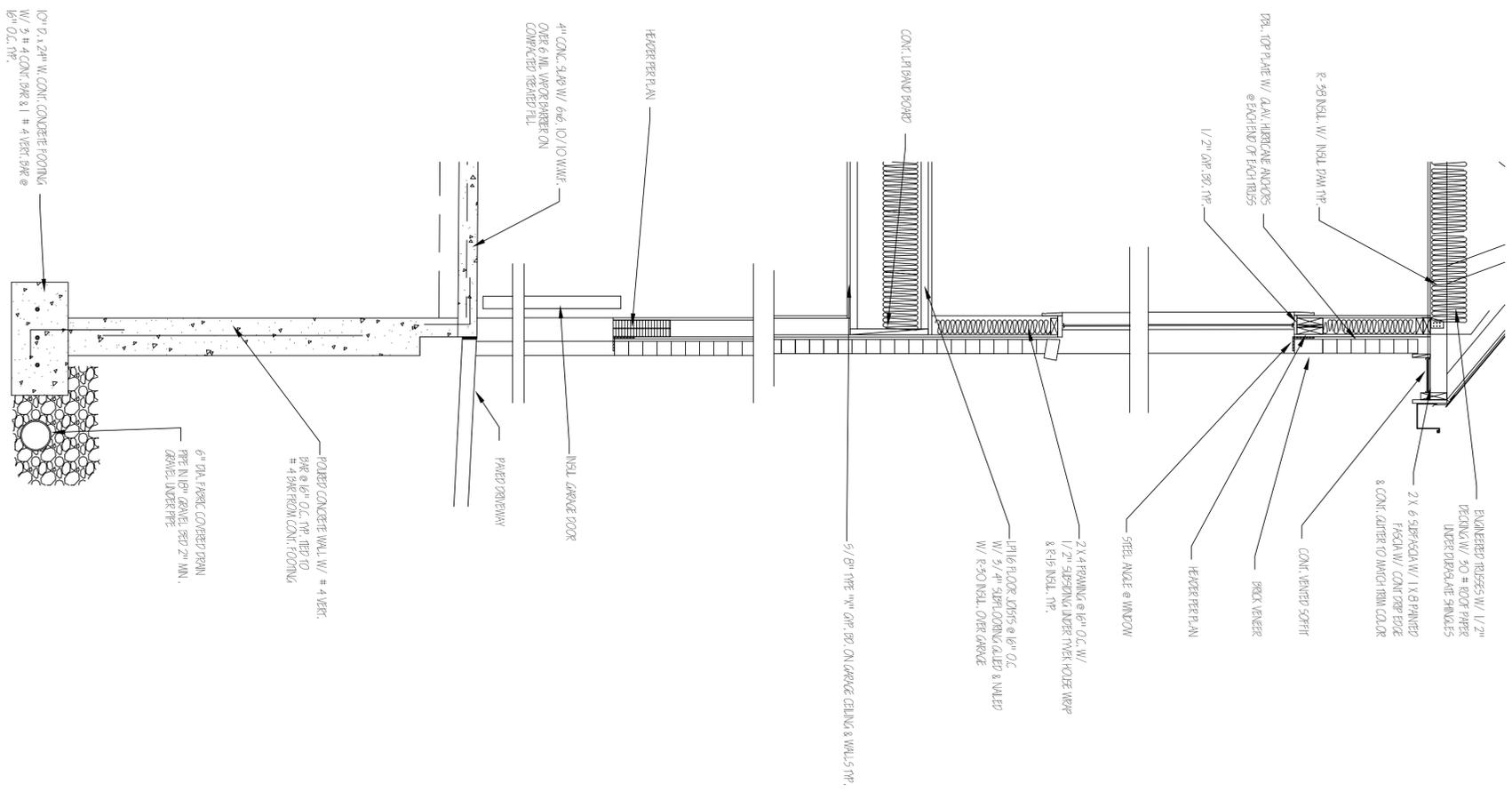
FINISHED GARAGE EL. 100'

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BUILDING SECTION

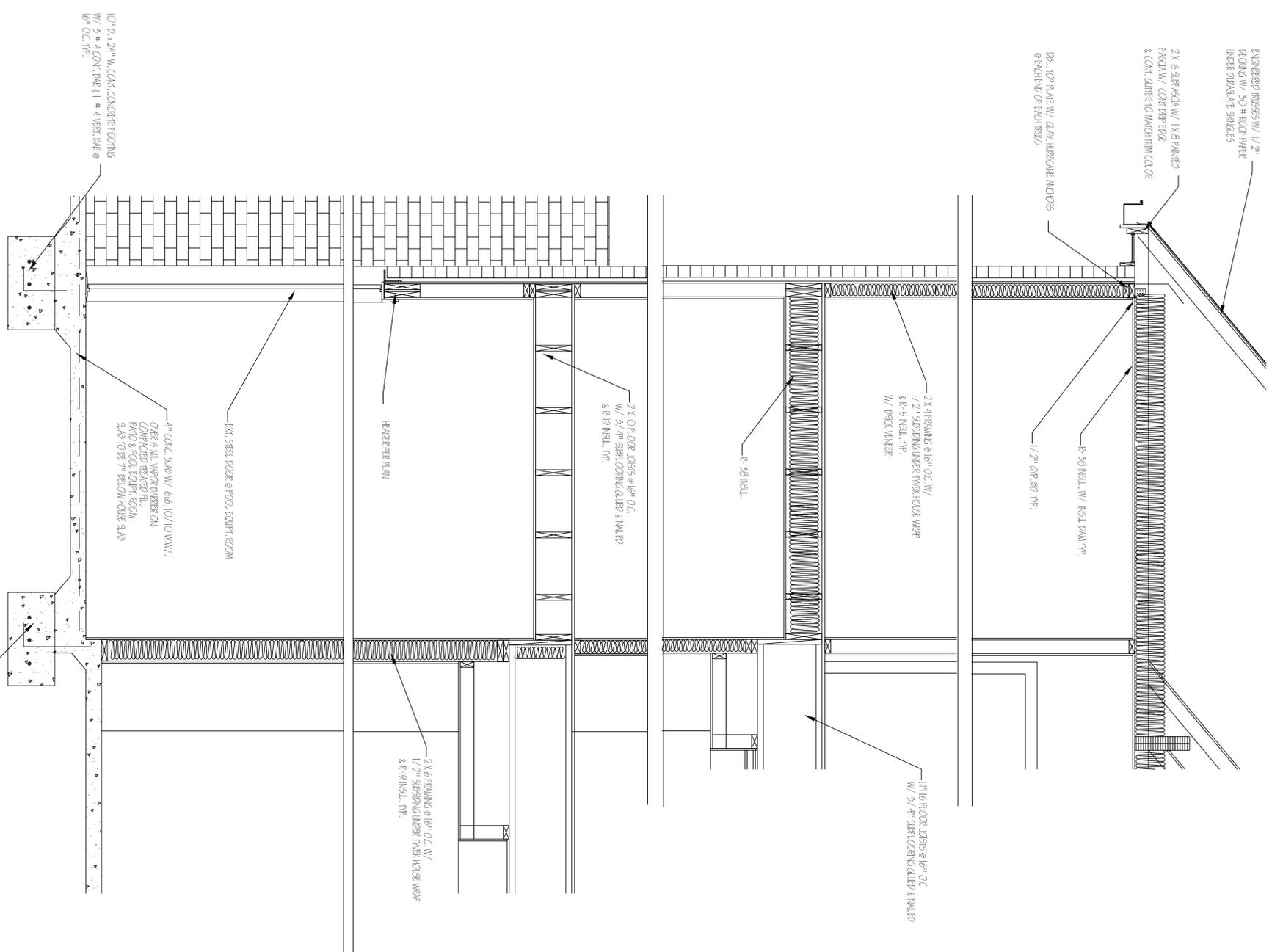
3/28/05

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WALL SECTION @ GARAGE

5/8" = 1'-0"

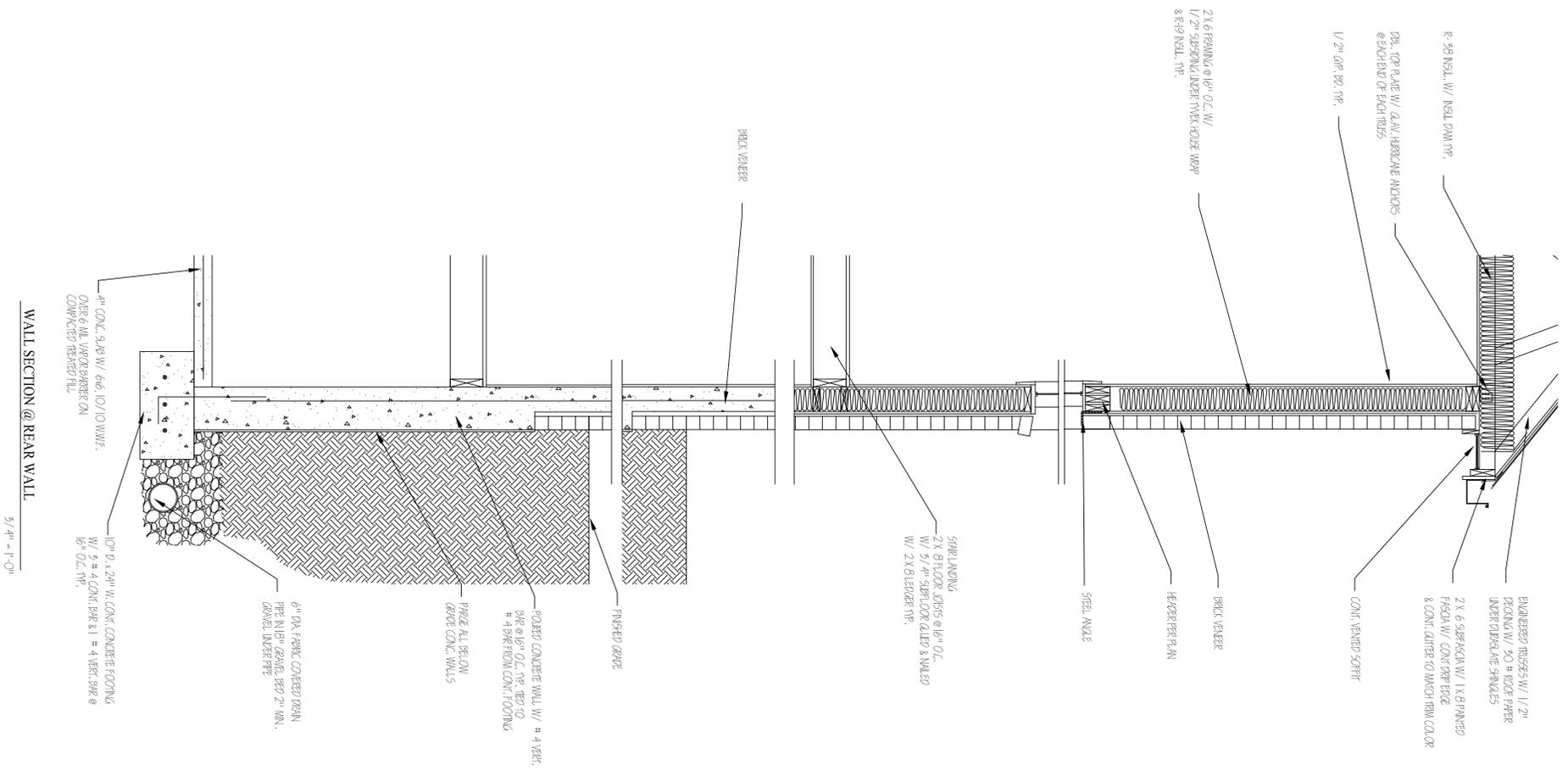


WALL SECTION @ PATIO

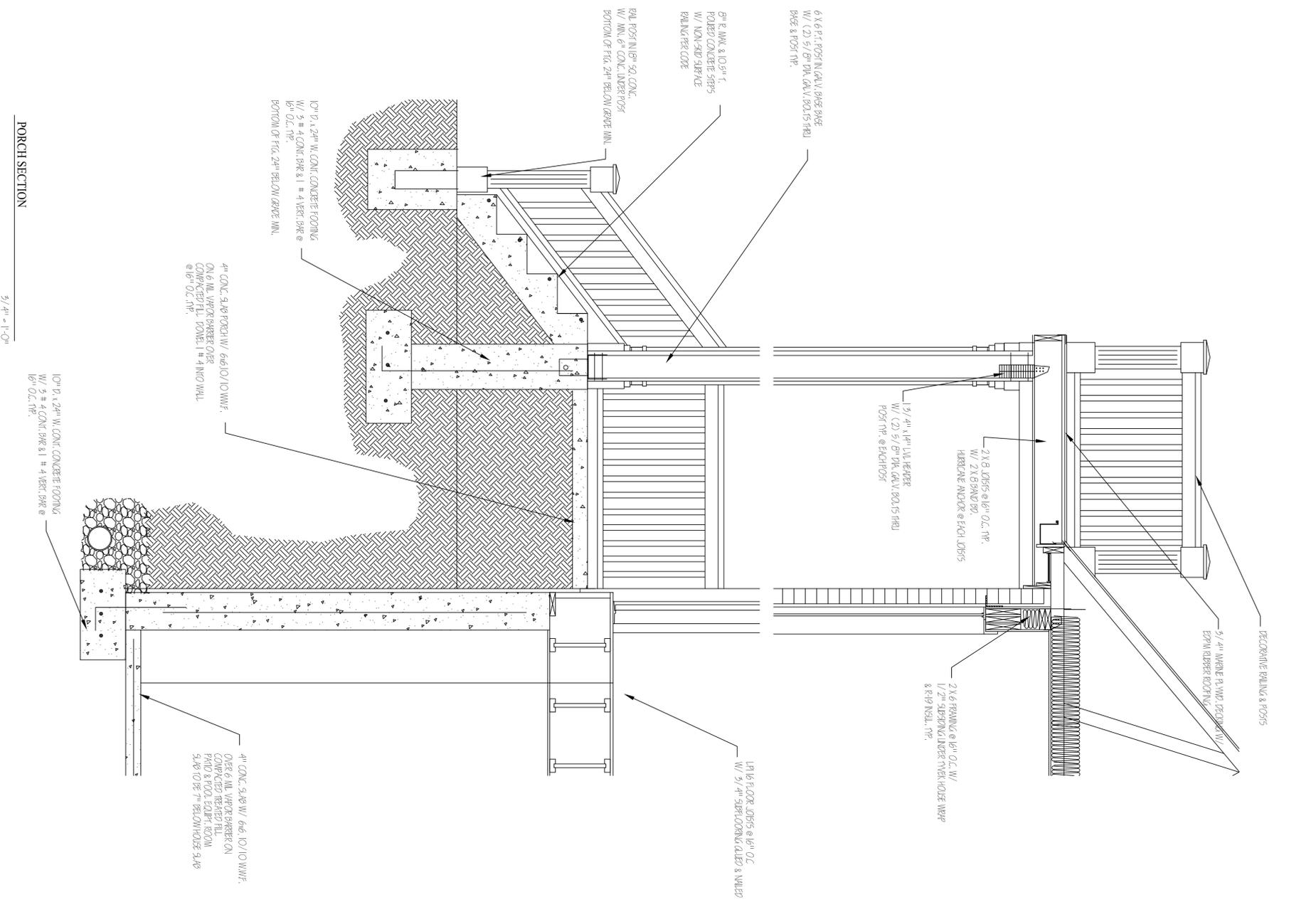
5/8" = 1'-0"

JEFFERSONIAN COLONIAL  
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WALL SECTIONS



WALL SECTION @ REAR WALL  
5/4" = 1'-0"



PORCH SECTION  
5/4" = 1'-0"

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WALL SECTIONS

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